	SHEET INDEX			
SHEET				
NUMBER	SHEET TITLE	60%	90%	100
GENERAL INFO	DRMATION			
G000	COVER SHEET	Х	Х	)
G002	GENERAL INFORMATION	Х	Х	
G003	ABBREVIATIONS & DRAWING CONVENTIONS	X	Х	)
G004	SPECIFICATIOS			X
G005	SPECIFICATIONS			)
G006	SPECIFICATIONS			
G007	SPECIFICATIONS			)
G007	SPECIFICATIONS			\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \
				_
G009	SPECIFICATION			)
G010	SPECIFICATIONS			)
G011	SPECIFICATIONS			)
G012	SPECIFICATION			)
G013	SPECIFICATIONS			)
G014	SPECIFICATIONS			)
G015	SPECIFICATIONS			)
G016	SPECIFICATIONS			)
G017	SPECIFICATIONS			)
G018	SPECIFICATIONS			)
G100	COD SUMMARY AND CALCULATIONS	X	Х	Х
G101	GROUND FLOOR LIFE SAFETY PLAN	X	Х	)
G102	SECOND FLOOR LIFE SAFETY PLAN	X	X	)
G110	ACCESSORY MOUNTING DIAGRAMS	X	X	,
G111	ACCESSIBILITY DETAILS	X	X	)
G112	ACCESSIBILITY DETAILS  ACCESSIBILITY DETAILS - SHOWERS	X	X	)
G200	WALL & PARTITION - TYPES AND NOTES	^	X	)
	WALL & PARTITION - TIPES AND NOTES		_ ^	'
CIVIL	OFNED II OUEST NOTES			Η,
C100	GENERAL SHEET NOTES		X	)
C101	GENERAL SHEET NOTES		Х	)
C200	EROSION CONTROL PLAN		Х	)
C201	EROSION CONTROL DETAILS		X	)
C300	DEMOLITION PLAN		X	)
C400	SITE PLAN		X	)
C500	GRADING & UTILITY PLAN		X	)
C600	GENERAL DETAILS		Х	)
C601	GENERAL DETAILS		Х	)
LANDSCAPE				
L100	OVERALL LANDSCAPE PLAN		Х	)
L200	LANDSCAPE ENLARGEMENTS		X	
LANDSCAPE -			^	<u> </u>
				١,
IR100	IRRIGATION PLAN			)
IR200	IRRIGATION NOTES AND DETAILS			)
IR300	IRRIGATION NOTES AND DETAILS			)
IR400	IRRIGATION NOTES AND DETAILS			)
STRUCTURAL				
S001	STRUCTURAL GENERAL NOTES		Х	)
S002	ABBREVIATIONS AND WIND TABLES			)
S100	CONCRETE PILE AND GRADE BEAM LAYOUT		Х	)
S101	STRUCTURAL SLAB REINFORCEMENT		Χ	)
S102	STRUCTURAL SLAB REINFORCEMENT		Х	)
S110	FOUNDATION SECTIONS AND DETAILS		Х	)
S111	FOUNDATION SECTIONS AND DETAILS		Х	)
S112	ELEVATOR STRUCTURAL PLAN, SECTION AND DETAILS		Х	)
S113	STAIR ACCESS STRUCTURAL PLAN, SECTIONS AND DETAILS		X	)
S114	FOUNDATION TYPICAL DETAILS		X	)
S200	ROOF FRAMING REINF. PLAN, SECTION AND DETAILS		X	)
S200	SECOND LEVEL FRAMING PLAN		X	)
S201	ROOF FRAMING PLAN		X	)
			_	)
S210	FRAMING SECTIONS AND DETAILS		X	
S211	FRAMING SECTIONS AND DETAILS			)
	AL DEMOLITION			_
AD100	DEMOLITION ROOF PLAN		Х	)
AD101	DEMOLITION GROUND FLOOR PLAN		Х	)
AD102	DEMOLITION SECOND FLOOR PLAN		Х	>
AD103	DEMOLITION REFLECTED CEILING PLANS		Х	χ

FLORIDA PRODUCT APPROVAL/ NOA APPROVAL

DURA STORM 2000/3000

MG7000

TOWN & COUNTRY | ALUM BAHAMA SHUTTER

MG500

**ARCHITECTURAL** 

CPH CONSULTING, LLC.

BRANDAN DECARO, RA

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(305) 274-4805

LANDSCAPE

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**ELECTRICAL** 

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NOA NUMBER / FL PRODUCT APPROVAL #

NOA - 23-1127.04

FLPA - 27000-R3

FLPA - 27101-R2

FLPA - 26095-R7

NOA - 24-0828.02

FLPA - 27001-R3

FLPA - 27001-R3

**MANUFACTURER** 

STANLEY

MR GLASS

MR GLASS

MR GLASS

MR GLASS

PRODUCT TYPE

SLIDING DOOR

STORE FRONT

STORE FRONT

LOUVER SHADE

SINGLE DOOR

DOUBLE DOOR

PROJECT DIRECTORY

WINDOW

CITY OF KEY COLONY BEACH

KEY COLONY BEACH, FL 33051-0141

KBECHTELHEIMER@CPHCORP.COM

BUILDINGOFFICIAL@KEYCOLONYBEACH.NET

600 W. OCEAN DRIVE

CPH CONSULTING, LLC.

1992 SW 1ST STREET

STRUCTURAL

MECHANICAL

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JEFFREY DEAL, P.E.

KYLE BECHTELHEIMER, P.E.

P.O. BOX 510141

SHEET NUMBER	SHEET TITLE	60%	90%	100%
ARCHITECTUR	AL SITE			
AS100	ARCHITECTURAL SITE PLAN	X	Х	Х
AS101	CONSTRUCTION STAGING PLAN	X	Х	Х
AS102	ARCHITECTURAL SITE - DETAILS		Х	Х
ARCHITECTUR	E			
A101	FLOOR PLAN - GROUND FLOOR	Х	Х	Х
A102	FLOOR PLAN - SECOND FLOOR	Х	Х	Х
A103	ROOF PLAN	Х	Х	Х
A110	REFLECTED CEILING PLAN - GROUND FLOOR	Х	Х	Х
A111	REFLECTED CEILING PLAN - SECOND FLOOR	X	X	Х
A120	FLOOR FINISH PLAN - GROUND FLOOR	X	Χ	Х
A121	FLOOR FINISH PLAN - SECOND FLOOR	X	X	Х
A122	ROOM FINISH - SCHEDULE, NOTES AND INTERIOR FINISH LEGEND		Х	Х
A200	EXTERIOR ELEVATIONS	X	X	Х
A201	EXTERIOR ELEVATIONS	X	X	X
A300	BUILDING SECTIONS	X	X	Х
A301	ENLARGED BUILDING SECTIONS	X	X	Х
A310	WALL SECTIONS	Х	Х	Х
A400	ENLARGED PLANS - GROUND FLOOR	Х	Х	Х
A401	ENLARGED PLANS - SECOND FLOOR	Х	Х	Х
A450	INTERIOR ELEVATIONS	Х	Х	Х
A460	RESTROOM - ENLARGED PLANS		Х	Х
A461	RESTROOM - INTERIOR ELEVATIONS	Х	Х	Х
A462	RESTROOM - INTERIOR ELEVATIONS	Х	Х	Х
A463	RESTROOM - DETAILS	Х	Х	Х
A500	ELEVATOR SECTIONS & DETAILS		X	Х
A501	INTERIOR STAIR SECTION & DETAILS		X	Х
A510	ROOF DETAILS		X	Х
A511	EXTERIOR DETAILS		X	Х
A600	DOOR SCHEDULE & NOTES	Х	X	Х
A601	DOOR DETAILS		X	Х
A606	GLAZING AND STOREFRONT SCHEDULE		X	Х
PLUMBING				
P000	PLUMBING TITLE SHEET		X	Х
P001	PLUMBING SPECIFICATIONS SHEET		X	Х
P100	SANITARY WASTE AND VENT FIRST FLOOR PLAN		X	Х
P101	SANITARY WASTE AND VENT SECOND FLOOR PLAN		X	Х
P102	DOMESTIC WATER FIRST FLOOR PLAN		X	Х
P103	DOMESTIC WATER SECOND FLOOR PLAN		X	Х
P400	SANITARY WASTE AND VENT ISOMETRIC		X	Х
P401	DOMESTIC WATER ISOMETRIC		X	Х
P500	PLUMBING DETAILS		Х	Х
P501	PLUMBING SCHEDULES		X	Х
PD100	DEMOLITION PLUMBING FLOOR PLAN		X	Х
MECHANICAL				
M000	MECHANICAL TITLE SHEET		X	Х
M001	MECHANICAL SPECIFICATIONS SHEET		X	Х
M002	MECHANICAL SPECIFICATIONS SHEET		X	Х
M100	MECHANICAL PLAN FIRST FLOOR PLAN		X	Х
M101	MECHANICAL PLAN SECOND FLOOR PLAN		X	X
M500	MECHANICAL DETAILS		X	X
M501	MECHANICAL DETAILS		X	X
M502	MECHANICAL SCHEDULE		X	X
MD100	DEMOLITION MECHANICAL FLOOR PLAN		X	Х
ELECTRICAL				
E000	ELECTRICAL NOTES AND ABBREVIATIONS		X	Х
E001	ELECTRICAL SPECIFICATIONS		X	X
E100	ELECTRICAL SITE PLAN		X	X
E101	ELECTRICAL POWER PLAN - GROUND FLOOR		X	X
E102	ELECTRICAL POWER PLAN - SECOND FLOOR		X	X
E201	ELECTRICAL LIGHTING PLAN - GROUND FLOOR		X	X
E202	ELECTRICAL LIGHTING PLAN - SECOND FLOOR		X	X
E301	FIRE ALARM PLAN - GROUND FLOOR			X
E301	FIRE ALARM PLAN - SECOND FLOOR			X
E302 E401	ELECTRICAL LIGHTNING PROTECTION PLAN		X	X
E501	ELECTRICAL LIGHTNING PROTECTION PLAN		X	X
E502	FIRE ALARM DETAILS - I		X	X
			_	_
E601	ELECTRICAL SCHEDULES L		X	X
E701	ELECTRICAL SCHEDULES - I		X	X
E702 ED101	ELECTRICAL SCHEDULES - II ELECTRICAL DEMOLITION PLAN		X	X
	TELECTRICAL DEMOLITION PLAN	1	1 X	X

### KEY COLONY BEACH CITY HALL

600 W. OCEAN DRIVE, KEY COLONY BEACH, FLORIDA 33051 100% CONSTRUCUTION DOCUMENTS 08/14/2025

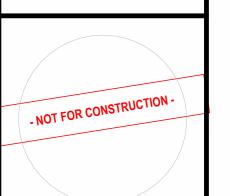
PAGES 1-9 ARE EXTRACTED FROM THE CPH 100% DRAWINGS

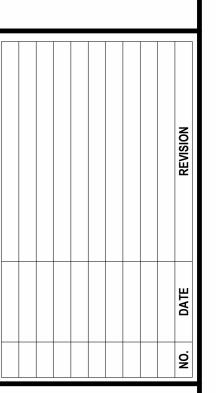
PAGES 10-11 ARE CONCERNED'S PROPOSED VIEW OF THE **KEY COLONY BEACH CITY HALL WITH THE "TOWER" ENTRY** SHOWN AS TWO STORIES AND THE PARKING LOT LEVELED FOR GROUND LEVEL ADA ENTRY TO THE ENTIRE BUILDING.





A Full Service A & E Firm





PROJECT STATUS

Designed:	СРН
Drawn:	CPH
Checked:	CPH
Project No.:	2401034
Issue Date:	08/14/2025
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THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS. SEE GENERAL NOTES FOR MASTER LEGEND

THE PROPOSED KEY COLONY BEACH CITY HALL BUILDING IS LOCATED AT 600 W. OCEAN DRIVE, KEY COLONY BEACH, FL 33051. THE PROJECT WILL CONSIST OF THREE COMPONENTS: THE HARDENING, RENNOVATION, AND A TWO STORY ADDITION, TOTALING TO APPROXIMATELY 10,212 SQ FT. THE HARDENING WILL INCLUDE THE POST OFFICE AND MARBLE HALL. THE RENOVATION AND TWO STORY ADDITION WILL CONTAIN A NEW LOBBY, RECEPTION SPACES, CONFERENCE ROOMS, RESTROOMS, AND OFFICES FOR THE VARIOUS DEPARTMENTS: ADMINISTRATION, POLICE, & PUBLIC WORKS.

#### SITE INFORMATION

PROJECT LOCATION



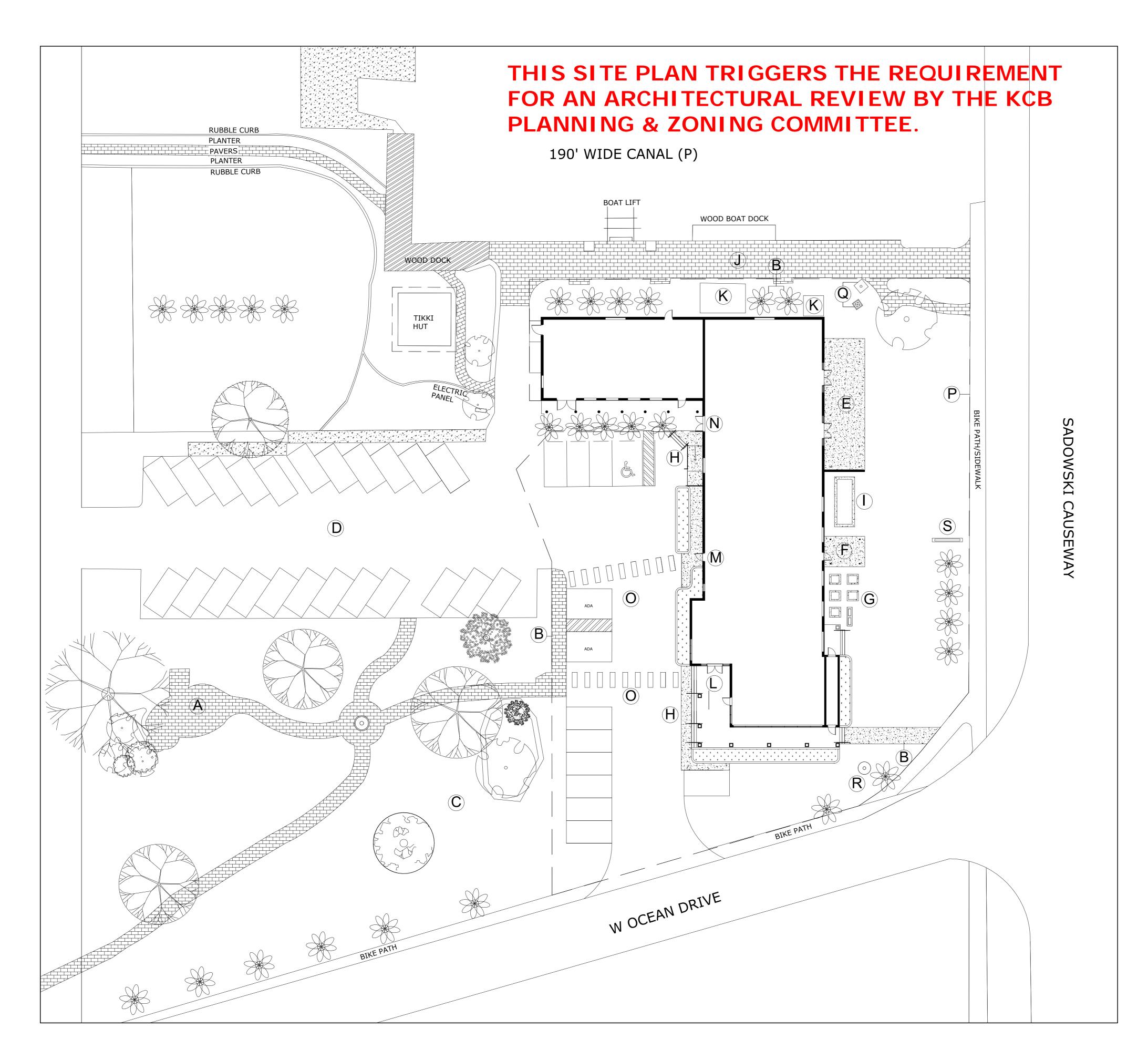
VICINITY MAP

CERTIFICATION

TO THE BEST OF THE DESIGN PROFESSIONAL'S KNOWLEDGE, INFORMATION, AND BELIEF, THIS DESIGN IS IN COMPLIANCE WITH APPLICABLE CODES AND LAWS.

JDEAL@CPHCORP.COM

NORTH



	SITE PLAN LEGEND
A	EXISTING PAVERS TO REMAIN
B	EXISTING PALM TREES TO BE REMOVED
<u>C</u>	EXISTING PARK TO REMAIN
D	EXISTING PAVEMENT PARKING LOT TO REMAIN
E	NEW MARBLE HALL PATIO
F	NEW ADMIN PATIO
G	NEW CONDENSER UNITS
H	NEW CONCRETE SIDEWALK
	NEW GENERATOR PAD WITH/ CMU WALL
J	EXISTING PAVER DOCK
K	EXISTING CONCRETE SLAB & HVAC EQUIPMENT TO REMAIN
(L)	MAIN ENTRANCE
M	ADA ENTRANCE
N	NEW MARBLE HALL ENTRANCE
0	NEW CROSSWALK
P	CONTRACTOR'S SITE WORK, LIMITS CONTRACTOR SHALL PROVIDE CONTINUOUS 6'-0" HIGH CHAIN, LINK CONSTRUCTION FENCE WITH WIND SCREEN, VEHICLE &PEDESTRIAN GATE.
Q	MONUMENT & FLAG POLE TO BE REMOVED BY CONTRACTOR DURING CONSTRUCTION AND RETURNED TO THE CITY UPON COMPLETION
R	NEW FLAG POLE WITH LIGHT
S	FUTURE SIGN BY CITY
T	TEMPORARY ADA PARKING
4 4 4	CONCRETE
	PAVER
* * * * * * *	LANDSCAPE PLANTER
	LANUSCAPE PLANTER

#### SITE PLAN NOTES

1. FOR EXISTING LANDSCAPING REFER TO LANDSCAPE DRAWINGS.

2. CONTRACTOR SHALL PLACE CONSTRUCTION FENCING TO ENSURE CONTINUOUS PUBLIC ACCESS TO THE POST OFFICE. ONE ADA-COMPLIANT PARKING SPACE SHALL REMAIN AVAILABLE AT ALL TIMES.

3. CONTRACTOR SHALL ACCOMMODATE THE CITY TO ALLOW ACCESS TO MARBLE HALL FOR COMMISSION MEETINGS. CONTRACTOR SHALL PROVIDE 72 HOUR NOTICE TO CITY WHEN MARBLE HALL MUST BE CLOSED FOR THE INSTALLATION OF THE NEW CEILING, LIGHTING AND STOREFRONT.

4. CONTRACTOR SHALL MAINTAIN TWO MEANS OF EGRESS FROM THE POST OFFICE & MARBLE HALL AT ALL TIMES THAT MEET REQUIREMENT OF THE FBC.

#### SITE PLAN NOTES

1. THE SITE PLAN INFORMATION CONTAINED ON THIS SHEET IS PROVIDED FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR DETAILED SITE INFORMATION. CIVIL DRAWINGS ARE CONTAINED IN A SEPARATE PERMIT PACKAGE.

2. SITE INFORMATION SHOWN HEREIN IS TAKEN FROM INFORMATION PROVIDED BY OTHERS NOT UNDER CONTRACT/CONTROL OF THE ARCHITECT. THE ARCHITECT HAS VERIFIED THE ACCURACY AND/OR COMPLETENESS OF THIS INFORMATION BASED ON VISUAL OBSERVATION ONLY. THEREFORE, THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR ERRORS, OMISSIONS, CONFLICTS, DEFICIENCIES, OR INACCURACIES ARISING FROM THE DISCOVERY OF CONCEALED, UNKNOWN OR DIFFERING CONDITIONS AS A RESULT OF THIS CIRCUMSTANCE. THE CONTRACTOR SHOULD FULLY AQUAINT HIMSELF WITH THE SITE AND FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO PERFORMING ANY WORK.

3. REFER TO CIVIL DRAWINGS FOR GRADING, BUILDING LOCATION, PARKING AND LOCATION OF ALL UTILITIES.

4. THIS IS NOT A SURVEY. REFER TO THE PLATTED SURVEY FOR ACCURACY.

5. ANY SIGNAGE SHOWN IS FOR REFERENCE ONLY. ALL SIGNAGE MUST BE PERMITTED SEPARATELY.

6. REFERENCE SHEET G SERIES DRAWINGS FOR GENERAL NOTES AND CONDITIONS AFFECTING THIS WORK.

7. CONTRACTOR SHALL FOLLOW COUNTY ORADINANCE OF MAXIMUM BUILDING HEIGHT OF 42FT FROM NEAREST AND HIGHEST ROAD CROWN. REFER TO CIVIL FOR SITE ELEVATION INFORMATION.REFER TO ELEVATIONS FOR BUILDING HEIGHT

PLAN T NORTH NO

A Full Service A & E Firm

> 1992 SW 1ST. STREET MIAMI, FLORIDA 33135 Ph. (305) 274-4805

CPH Consulting, LLC.

**KEY COLONY BEACH** 

PROJECT STATUS

2401034

08/14/2025

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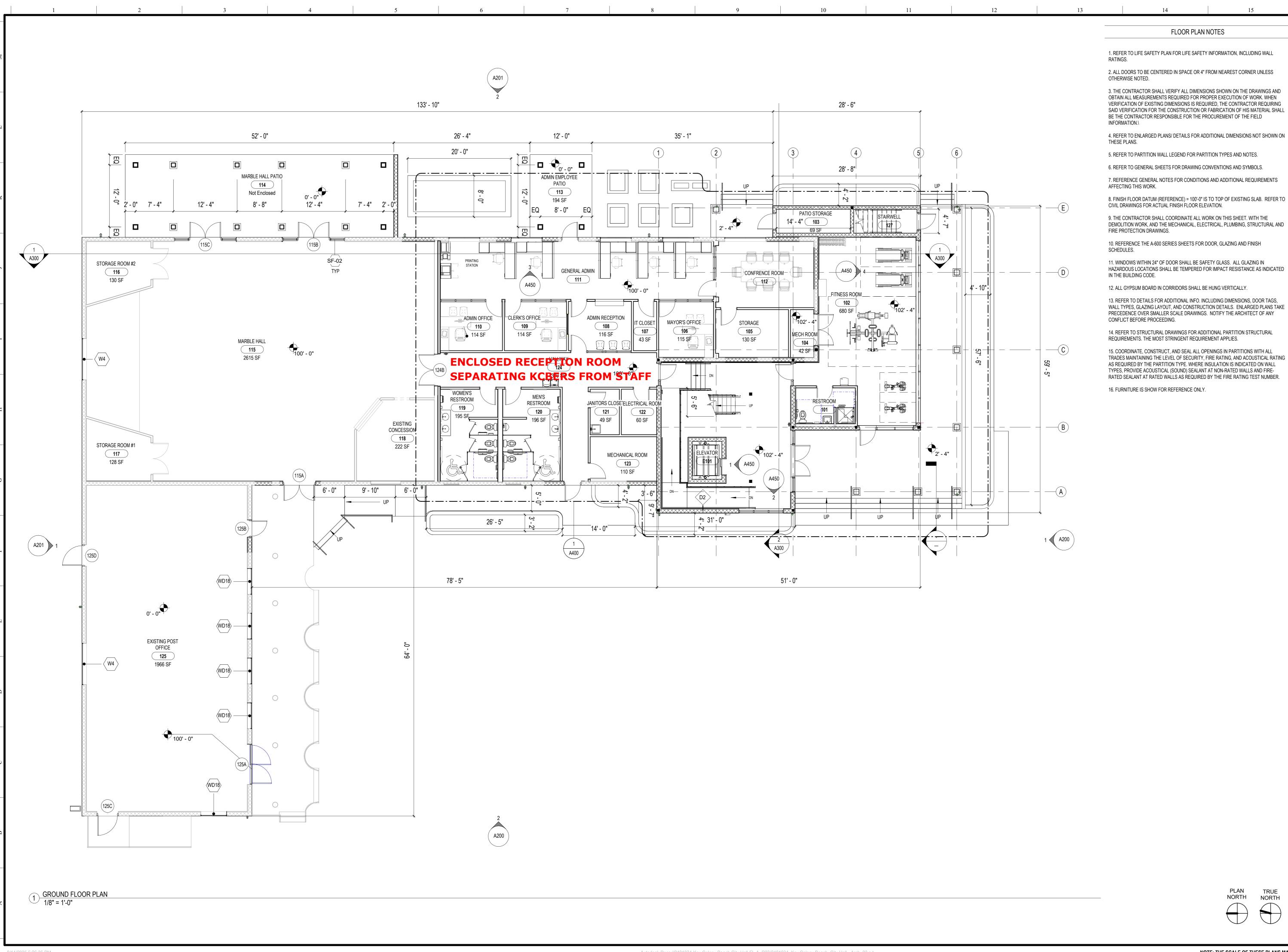
Project No.:

Issue Date:

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Sheet No.
AS100

1" = 20'-0"



2. ALL DOORS TO BE CENTERED IN SPACE OR 4" FROM NEAREST CORNER UNLESS

3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AND OBTAIN ALL MEASUREMENTS REQUIRED FOR PROPER EXECUTION OF WORK. WHEN VERIFICATION OF EXISTING DIMENSIONS IS REQUIRED, THE CONTRACTOR REQUIRING SAID VERIFICATION FOR THE CONSTRUCTION OR FABRICATION OF HIS MATERIAL SHALL BE THE CONTRACTOR RESPONSIBLE FOR THE PROCUREMENT OF THE FIELD

6. REFER TO GENERAL SHEETS FOR DRAWING CONVENTIONS AND SYMBOLS.

DEMOLITION WORK, AND THE MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL AND

HAZARDOUS LOCATIONS SHALL BE TEMPERED FOR IMPACT RESISTANCE AS INDICATED

WALL TYPES, GLAZING LAYOUT, AND CONSTRUCTION DETAILS. ENLARGED PLANS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. NOTIFY THE ARCHITECT OF ANY

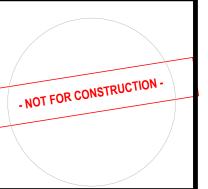
TRADES MAINTAINING THE LEVEL OF SECURITY, FIRE RATING, AND ACOUSTICAL RATING AS REQUIRED BY THE PARTITION TYPE. WHERE INSULATION IS INDICATED ON WALL TYPES, PROVIDE ACOUSTICAL (SOUND) SEALANT AT NON-RATED WALLS AND FIRE-RATED SEALANT AT RATED WALLS AS REQUIRED BY THE FIRE RATING TEST NUMBER.

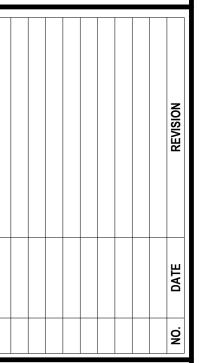


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Plans Prepared By : CPH Consulting, LLC. FOR THE CITY OF KEY COLONY BEACH





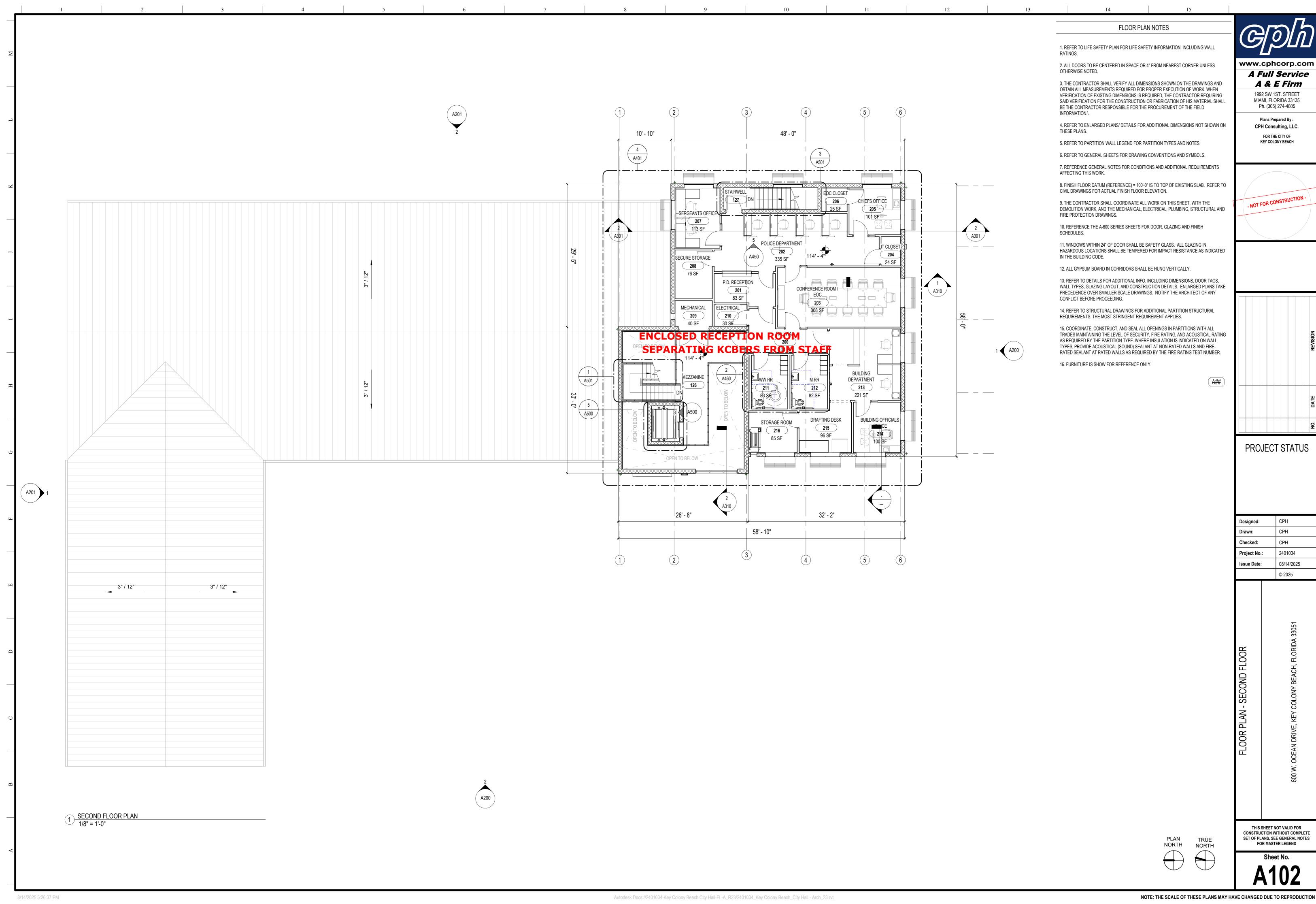
PROJECT STATUS

ned:	СРН
):	СРН
ed:	СРН

Drawn:	CPH
Checked:	CPH
Project No.:	2401034
Issue Date:	08/14/2025
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THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS. SEE GENERAL NOTES FOR MASTER LEGEND

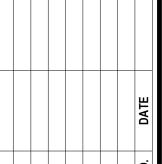
TRUE NORTH





A Full Service





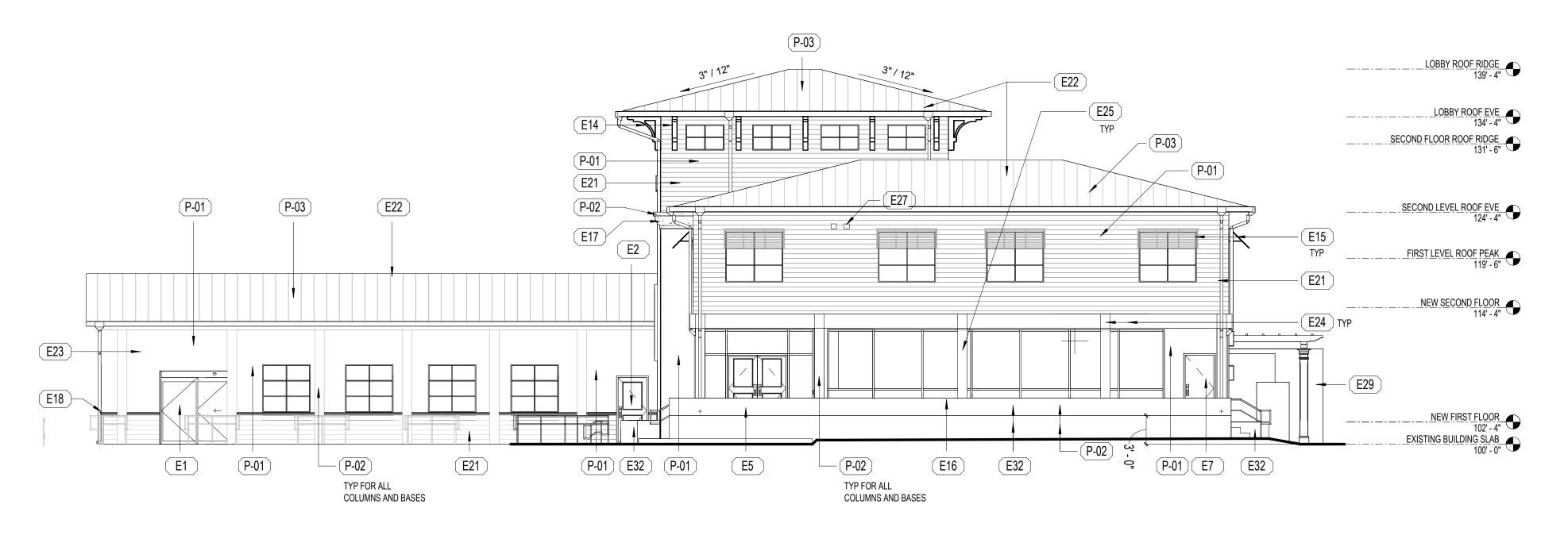
Designed:	CPH
Drawn:	СРН
Checked:	CPH
Project No.:	2401034
Issue Date:	08/14/2025
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	EXTERIOR COLOR LEGEND	P##
#	DESCRIPTION	
P-01	SHERWIN WILLIAMS - IBIS WHITE - SW7000	
P-02	SHERWIN WILLIAMS - WHITE SNOW - SW9541	
P-03	TRI COUNTY METALS HAWAIIAN BLUE	

	ELEVATION KEYNOTE LEGEND E##
#	DESCRIPTION
E1	POST OFFICE ENTERANCE 1
E2	POST OFFICE ENTERANCE 2
E3	MARBLE HALL ENTERANCE
E4	SECONDARY ENTERANCE
E5	MAIN ENTERANCE
E6	FITNESS ROOM ENTRANCE
E7	POLICE STAIR
E9	ADMIN EMPLOYEE ACCESS DOOR
E10	MARBLE HALL PATIO DOOR 1
E11	MARBLE HALL PATIO DOOR 2
E12	POST OFFICE SEVICE DOOR 1
E13	POST OFFICE SEVICE DOOR 2
E14	CORBLE - LOW COUNTRY GRAY, HB ELEMENTS INC
E15	BAHAMA SHUTTER - STANDARD GRAY, TOWN AND COUNTRY IND.
E16	STORE FRONT
E17	CORNICE - HIGH
E18	CORNICE - LOW
E19	CITY SEAL
E20	SIGNAGE
E21	SHIPLAP STUCCO
E22	STANDING SEAM METAL ROOF
E23	STUCCO
E24	BEAM
E25	COLUMN & BASE
E26	PERGOLA - LOW COUNTRY GRAY, HB ELEMENTS INC
E27	EXHAUST LOUVERS
E28	LOUVERS
E29	PRIVACY WALL WITH STUCCO FINISH TO MATCH THE BUILDING FACADE.
E30	EXISTING WINDOW
E31	PRIVACY WALL WITH STUCCO FINISH TO MATCH THE BUILDING FACADE.
E32	STUCCO FINISHED CONCRETE PLANTER

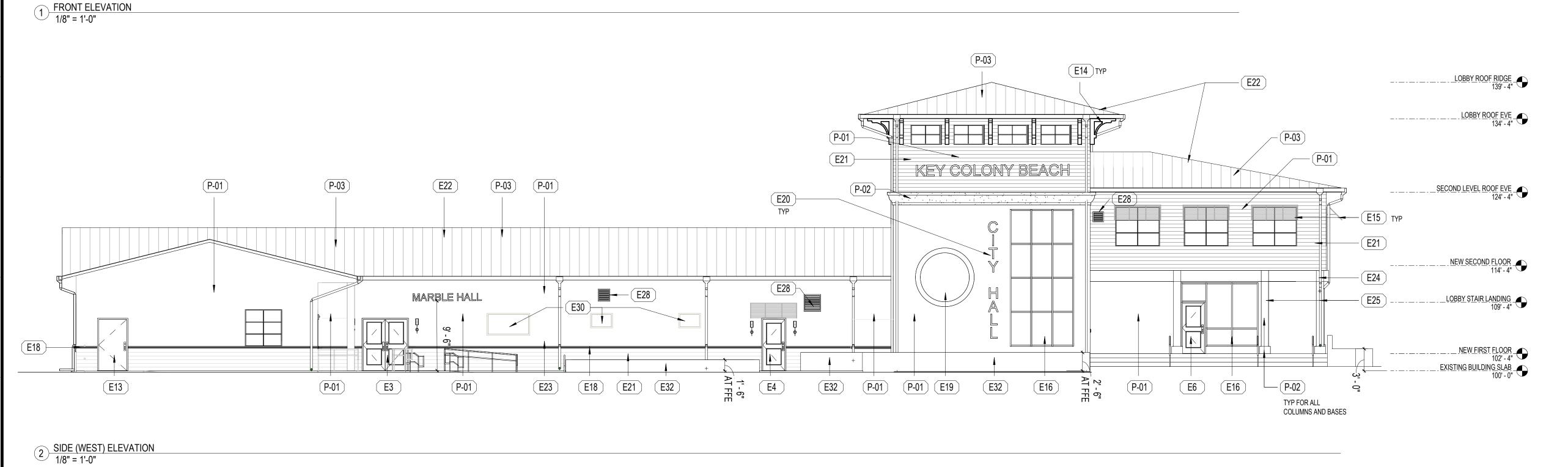
#### EXTERIOR ELEVATION GENERAL NOTES

- 1. ELEVATION HEIGHTS ARE FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL FLOOR HEIGHT ABOVE SEA LEVEL. CONTACT THE ARCHITECT OF RECORD IF HEIGHTS DIFFER.
- 2. ALL VERTICAL DIMENSIONS ARE FROM THE FINISHED FLOOR, UNLESS NOTED OTHERWISE.
- 3. NO SIGNAGE IS INCLUDED IN THIS PACKAGE. SIGNAGE IS SHOWN FOR REFERENCE ONLY. ALL SIGNS MUST BE PERMITTED SEPARATELY.
- 4. DO NOT TRANSITION PAINT COLORS ON AN EXTERIOR CORNER. ALL COLOR CHANGES SHOULD BE AT INTERIOR CORNERS, UNLESS NOTED OTHERWISE, CONTACT THE ARCHITECT IF A CONFLICT OCCURS.
- 5. PAINT ALL EXPOSED EDGES OF TRIM, INCLUDING THE TOP AND BOTTOM EDGES.
- 6. ALL METAL PAINT TO BE ENAMEL BASE.
- 7. LOUVERS AND PANEL FRONTS SHALL BE SPRAY-PAINTED TO MATCH ADJACENT SURFACES, INCLUDING FACTORY-FINISHED ITEMS, UNLESS NOTED OTHERWISE, BRUSH PAINTING OF THESE ITEMS WILL NOT BE PERMITTED.
- 8. THE GENERAL CONTRACTOR SHALL PAINT ALL EXPOSED PIPES, CONDUITS, DISCONNECTS & JUNCTION BOXES TO MATCH THE ADJACENT SURFACE.
- 9. PROVIDE AND COORDINATE KNOXBOX LOCATION WITH FIRE DEPARTMENT AND LIFE SAFETY PLAN PRIOR TO
- 10. THE GENERAL CONTRACTOR SHALL COORDINATE ALL WORK ON THIS SHEET WITH DEMOLITION WORK, AND THE MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL AND FIRE PROTECTION DRAWINGS.
- 11. ALL PRE-MANUFACTURED TRIM, MOULDINGS, CLADDING & COMPONENTS SHALL BE FASTENED & ADHERED TO THE BUILDING PER MANUFACTURER SPECIFICATIONS TO WITHSTAND DESIGN WIND PRESSURE IDENTIFIED ON STRUCTURAL DRAWINGS.
- 12. COORDINATE WITH ARCHITECT THE LOCATION OF ALL ADDITIONAL CONTROL JOINTS REQUIRED BUT NOT INDICATED ON PLANS.
- 13. ALL EXTERIOR SURFACES TO BE PAINTED IN THE FIELD OR BE PROVIDED WITH FACTORY OR SHOP APPLIED FINISH AS REQUIRED. ALL COLORS SHALL BE SELECTED BY ARCHITECT, APPROVED BY OWNER.
- 14.EXISTING CMU WALL TO BE MORTAR-FILLED UP TO 40" MAX (REFER TO STRUCTURAL DRAWINGS FOR DETAILS).
- 15. STUCCO SHALL BE APPLIED TO EXTERIOR STRUCTURAL COLUMNS, COLUMN BASES, AND VISIBLE / EXPOSED PLANTER SURFACES.



## THREE STORY TOWER EXCEEDS KCB ORDINANCE

### THE PLANS SHOW NO AFTER HOURS ADA ACCESS TO THE "FITNESS ROOM"



ELEVATION/SECTION LEGEND

EXISTING TO REMAIN

NEW WORK

THIS SHEET NOT VALID FOR
CONSTRUCTION WITHOUT COMPLETE
SET OF PLANS. SEE GENERAL NOTES
FOR MASTER LEGEND

A200

Sheet No.

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1992 SW 1ST. STREET MIAMI, FLORIDA 33135

Ph. (305) 274-4805

Plans Prepared By :

CPH Consulting, LLC.

FOR THE CITY OF KEY COLONY BEACH

- NOT FOR CONSTRUCTION -

PROJECT STATUS

2401034

08/14/2025

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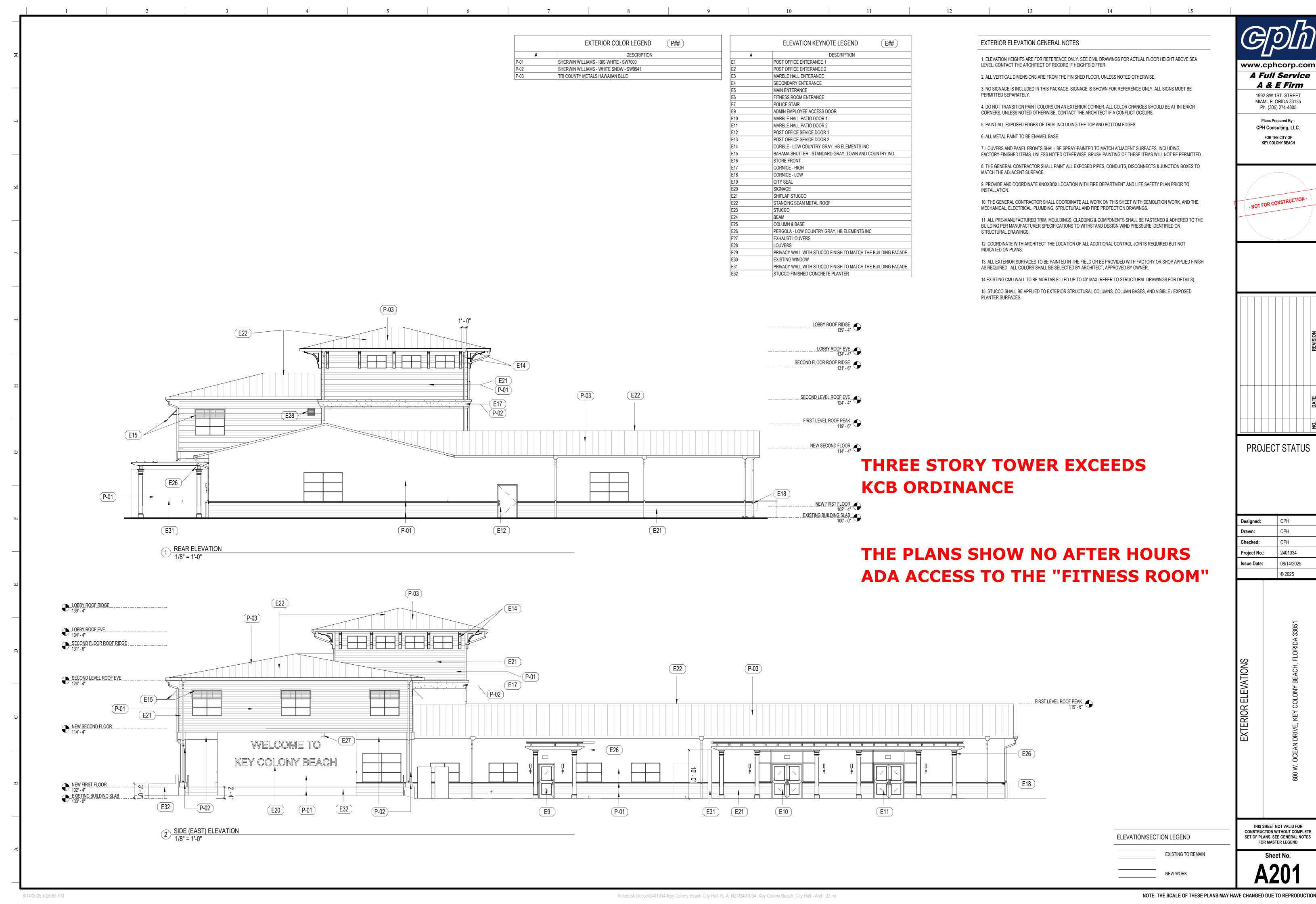
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- NOT FOR CONSTRUCTION -

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# DESCRIPTION

# DESCRIPTION

E1 POST OFFICE ENTERANCE 1

E2 POST OFFICE ENTERANCE 2

E8 MECHANICAL ROOM

E14 CORBLE - LOW COUNTRY GRAY, HB ELEMENTS INC

E15 BAHAMA SHUTTER - STANDARD GRAY, TOWN AND COUNTRY IND.

E17 CORNICE - HIGH

E18 CORNICE - LOW

E21 SHIPLAP STUCCO

E22 STANDING SEAM MTL ROOF

E23 STUCCO

E24 BEAM

BUILDING SECTION GENERAL NOTES

1. FINISH FLOOR DATUM (REFERENCE) = 0'-0" IS TO TOP OF SLAB. REFER TO CIVIL DRAWINGS FOR ACTUAL FINISH FLOOR ELEVATION.

2. THE GENERAL CONTRACTOR SHALL COORDINATE ALL WORK ON THIS SHEET WITH THE DEMOLITION WORK, AND THE MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL AND FIRE PROTECTION DRAWINGS.

3. ELEVATION HEIGHTS ARE FOR REFERENCE ONLY TO ARCHITECTURAL DRAWINGS. SEE CIVIL DRAWINGS FOR ACTUAL FLOOR HEIGHT ABOVE SEA LEVEL. CONTACT THE ARCHITECT OF RECORD IF HEIGHTS DIFFER.

4. STRUCTURAL ELEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

5. THE EXISTING STRUCTURE IS SHOWN FOR REFERENCE ONLY.

6. FURNITURE SUPPLY BY OWNER.



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MIAMI, FLORIDA 33135 Ph. (305) 274-4805 Plans Prepared By :

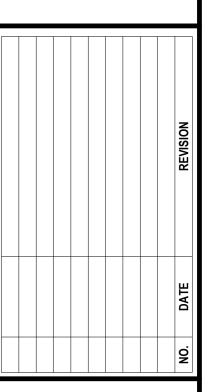
CPH Consulting, LLC.

FOR THE CITY OF

**KEY COLONY BEACH** 

1992 SW 1ST. STREET





PROJECT STATUS

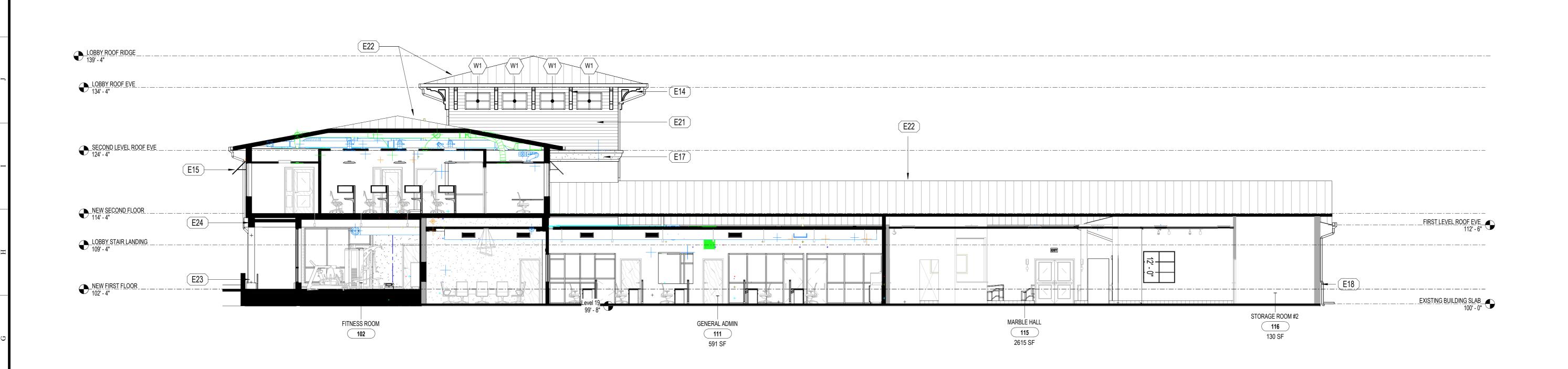
Designed:	СРН
Drawn:	СРН
Checked:	СРН
Project No.:	2401034
Issue Date:	08/14/2025
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W. OCEAN DRIVE, KEY COLONY BEACH, FLORIDA 33051

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FOR MASTER LEGEND

Sheet No.

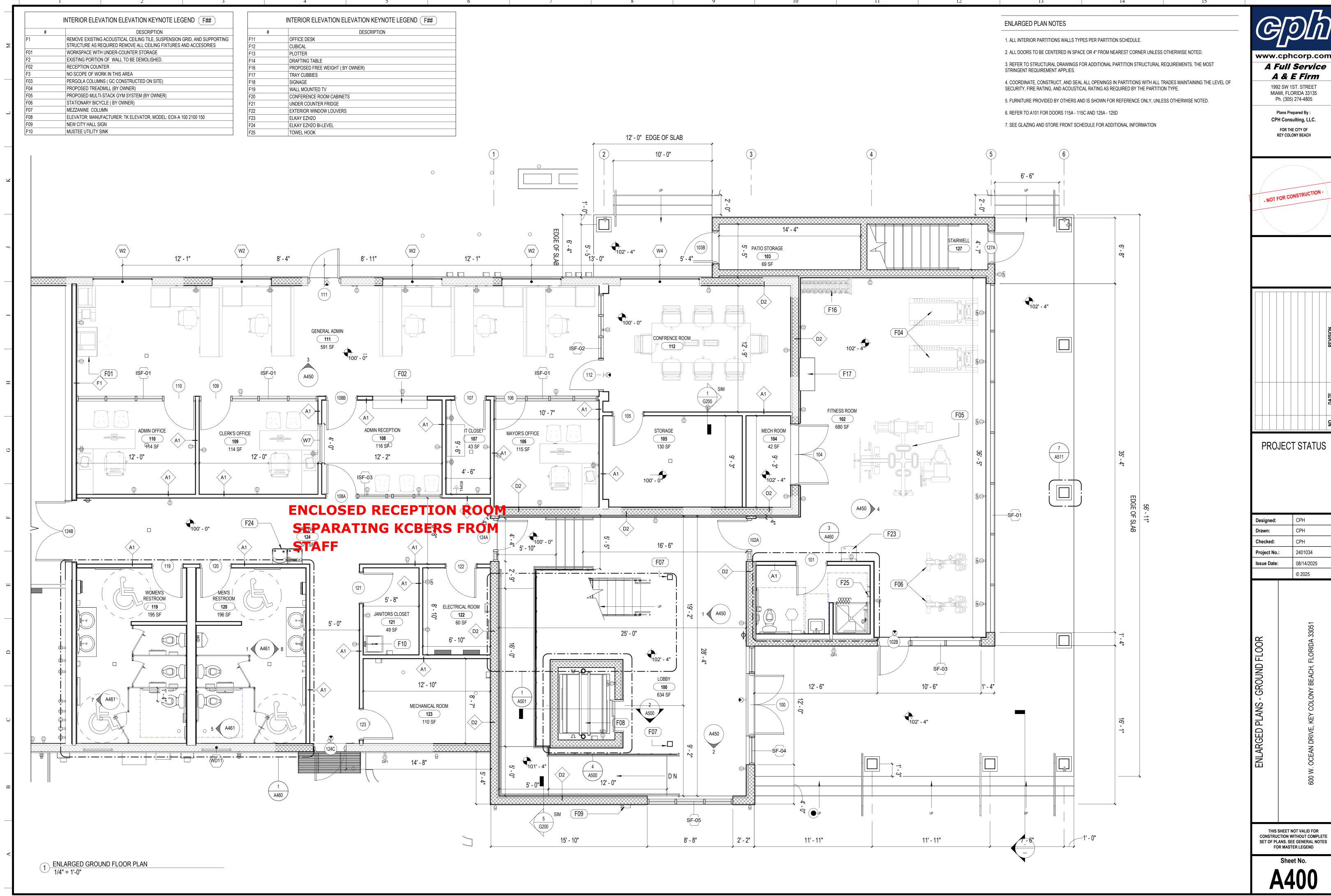
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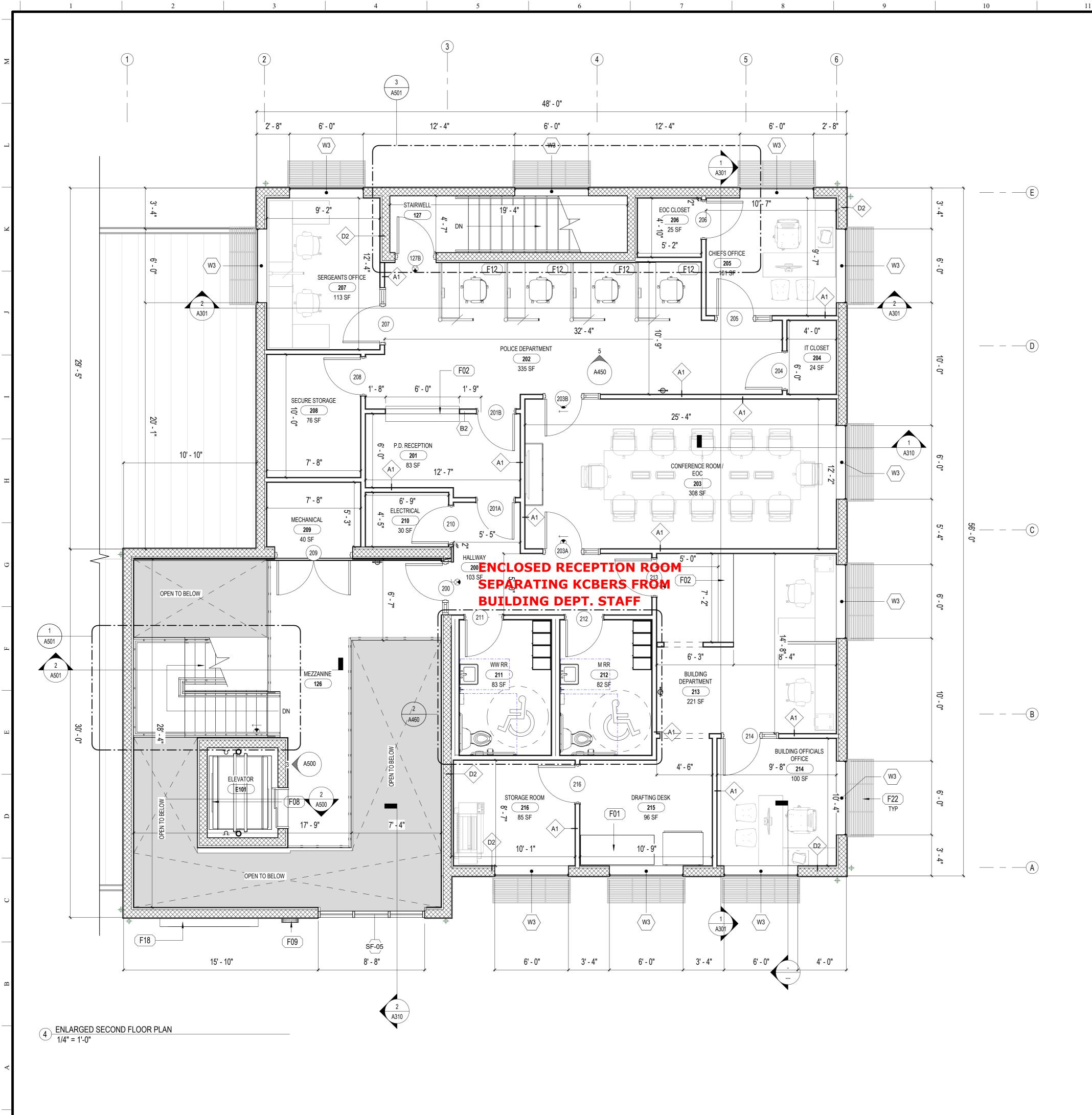


## THREE STORY TOWER EXCEEDS KCB ORDINANCE

### THE PLANS SHOW NO AFTER HOURS ADA ACCESS TO THE "FITNESS ROOM"

1/8" = 1'-0"





**ENLARGED PLAN NOTES** 

1. ALL INTERIOR PARTITIONS WALLS TYPES PER PARTITION SCHEDULE.

2. ALL DOORS TO BE CENTERED IN SPACE OR 4" FROM NEAREST CORNER UNLESS OTHERWISE NOTED.

3. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL PARTITION STRUCTURAL REQUIREMENTS. THE MOST STRINGENT REQUIREMENT APPLIES.

4. COORDINATE, CONSTRUCT, AND SEAL ALL OPENINGS IN PARTITIONS WITH ALL TRADES MAINTAINING THE LEVEL OF SECURITY, FIRE RATING, AND ACOUSTICAL RATING AS REQUIRED BY THE PARTITION TYPE.

5. FURNITURE PROVIDED BY OTHERS AND IS SHOWN FOR REFERENCE ONLY, UNLESS OTHERWISE NOTED.

6. REFER TO A101 FOR DOORS 115A - 115C AND 125A - 125D

7. SEE GLAZING AND STORE FRONT SCHEDULE FOR ADDITIONAL INFORMATION

# DESCRIPTION		
F1	REMOVE EXISTING ACOUSTICAL CEILING TILE, SUSPENSION GRID, AND SUPPOR STRUCTURE AS REQUIRED REMOVE ALL CEILING FIXTURES AND ACCESORIES	
F01	WORKSPACE WITH UNDER-COUNTER STORAGE	
F2	EXISTING PORTION OF WALL TO BE DEMOLISHED.	
F02	RECEPTION COUNTER	
F3	NO SCOPE OF WORK IN THIS AREA	
F03	PERGOLA COLUMNS ( GC CONSTRUCTED ON SITE)	
F04	PROPOSED TREADMILL (BY OWNER)	
F05	PROPOSED MULTI-STACK GYM SYSTEM (BY OWNER)	
F06	STATIONARY BICYCLE ( BY OWNER)	
F07	MEZZANINE COLUMN	
F08	ELEVATOR: MANUFACTURER: TK ELEVATOR, MODEL: EOX-A 100 2100 150	
F09	NEW CITY HALL SIGN	
F10	MUSTEE UTILITY SINK	
F11	OFFICE DESK	
F12	CUBICAL	
F13	PLOTTER	
F14	DRAFTING TABLE	
F16	PROPOSED FREE WEIGHT ( BY OWNER)	
F17	TRAY CUBBIES	
F18	SIGNAGE	
F19	WALL MOUNTED TV	
F20	CONFERENCE ROOM CABINETS	
F21	UNDER COUNTER FRIDGE	
F22	EXTERIOR WINDOW LOUVERS	
F23	ELKAY EZH2O	
F24	ELKAY EZH2O BI-LEVEL	
F25	TOWEL HOOK	

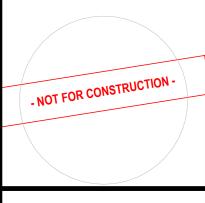
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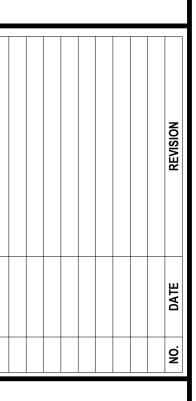
A Full Service

A & E Firm

1992 SW 1ST. STREET MIAMI, FLORIDA 33135 Ph. (305) 274-4805

Plans Prepared By :
CPH Consulting, LLC.
FOR THE CITY OF
KEY COLONY BEACH





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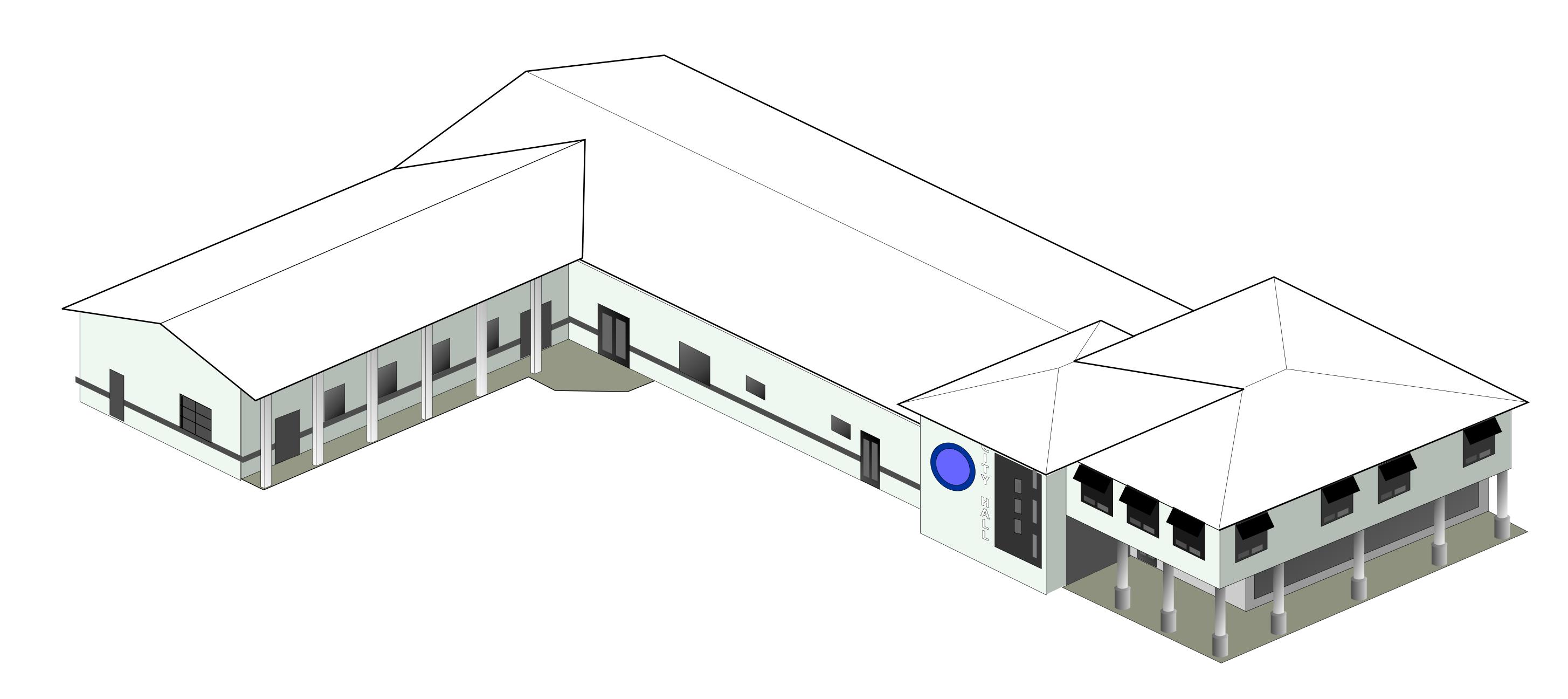
ENLARGED PLANS - SECOND FLOOR

600 W. OCEAN DRIVE, KEY COLONY BEACH, FLORIDA 33051

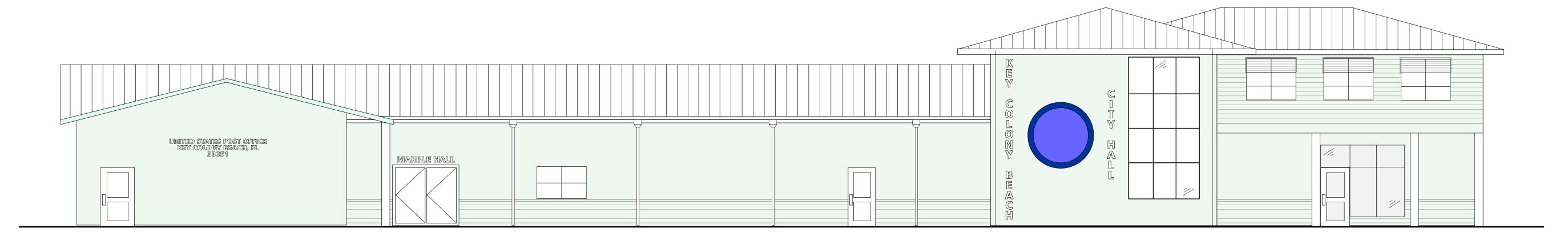
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Sheet No. **A401** 

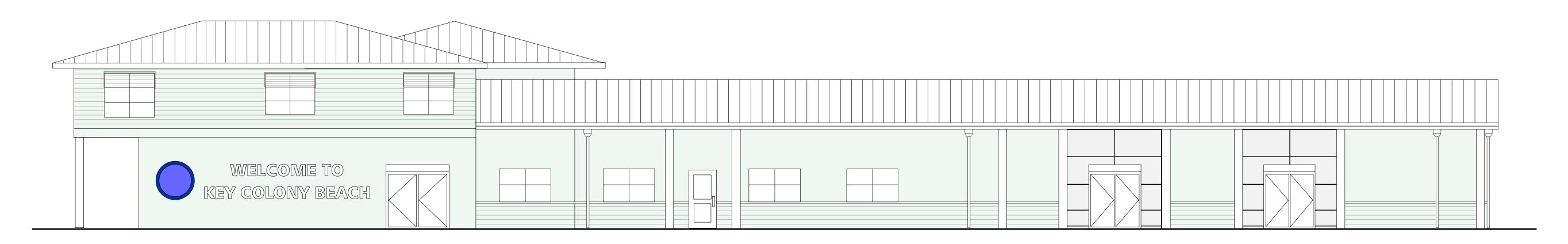
THIS PROPOSED VIEW OF THE KEY COLONY BEACH CITY HALL REDUCES THE "TOWER" ENTRY TO A LEGAL TWO STORIES AND LEVELS THE PARKING LOT FOR GROUND LEVEL ENTRY TO ALL SECTIONS OF THE BUILDING. IT USES THE PAINT COLOR OF THE CURRENT CITY HALL AND ALL OF THE ARCHITECTURAL CUES FROM THE CPH DESIGN PLUS A WHITE STANDING SEAM METAL ROOF.



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# WEST ELEVATION (VIEW FROM PARKING LOT)



EAST ELEVATION
(VIEW FROM SADOWSKY CAUSEWAY)