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












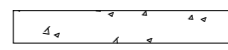
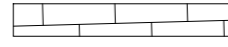
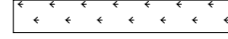
Designed:	Designer
Drawn:	Author
Checked:	Checker
Project No.:	2401034
Issue Date:	08/14/2025
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# AS100

Autodesk Docs://2401034-Key Colony Beach City Hall-FL-A R23/2401034\_Key Colony Beach\_City Hall - Arch\_23.rvt

SADOWSKI CAUSEWAY

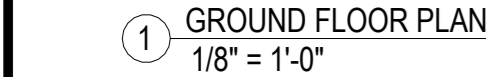
SITE PLAN LEGEND	
	EXISTING PAVERS TO REMAIN
	EXISTING PALM TREES TO BE REMOVED
	EXISTING PARK TO REMAIN
	EXISTING PAVEMENT PARKING LOT TO REMAIN
	NEW MARBLE HALL PATIO
	NEW ADMIN PATIO
	NEW CONDENSER UNITS
	NEW CONCRETE SIDEWALK
	NEW GENERATOR PAD WITH/ CMU WALL
	EXISTING PAVER DOCK
	EXISTING CONCRETE SLAB & HVAC EQUIPMENT TO REMAIN
	MAIN ENTRANCE
	ADA ENTRANCE
	NEW MARBLE HALL ENTRANCE
	NEW CROSSWALK
	CONTRACTOR'S SITE WORK, LIMITS CONTRACTOR SHALL PROVIDE CONTINUOUS 6'-0" HIGH CHAIN, LINK CONSTRUCTION FENCE WITH WIND SCREEN, VEHICLE & PEDESTRIAN GATE.
	MONUMENT & FLAG POLE TO BE REMOVED BY CONTRACTOR DURING CONSTRUCTION AND RETURNED TO THE CITY UPON COMPLETION
	NEW FLAG POLE WITH LIGHT
	FUTURE SIGN BY CITY
	TEMPORARY ADA PARKING
	CONCRETE
	PAVER
	LANDSCAPE PLANTER

SITE PLAN NOTES	
1.	FOR EXISTING LANDSCAPING REFER TO LANDSCAPE DRAWINGS.
2.	CONTRACTOR SHALL PLACE CONSTRUCTION FENCING TO ENSURE CONTINUOUS PUBLIC ACCESS TO THE POST OFFICE. ONE ADA-COMPLIANT PARKING SPACE SHALL REMAIN AVAILABLE AT ALL TIMES.
3.	CONTRACTOR SHALL ACCOMMODATE THE CITY TO ALLOW ACCESS TO MARBLE HALL FOR COMMISSION MEETINGS. CONTRACTOR SHALL PROVIDE 72 HOUR NOTICE TO CITY WHEN MARBLE HALL MUST BE CLOSED FOR THE INSTALLATION OF THE NEW CEILING, LIGHTING AND STOREFRONT.
4.	CONTRACTOR SHALL MAINTAIN TWO MEANS OF EGRESS FROM THE POST OFFICE & MARBLE HALL AT ALL TIMES THAT MEET REQUIREMENT OF THE FBC.

### SITE PLAN NOTES

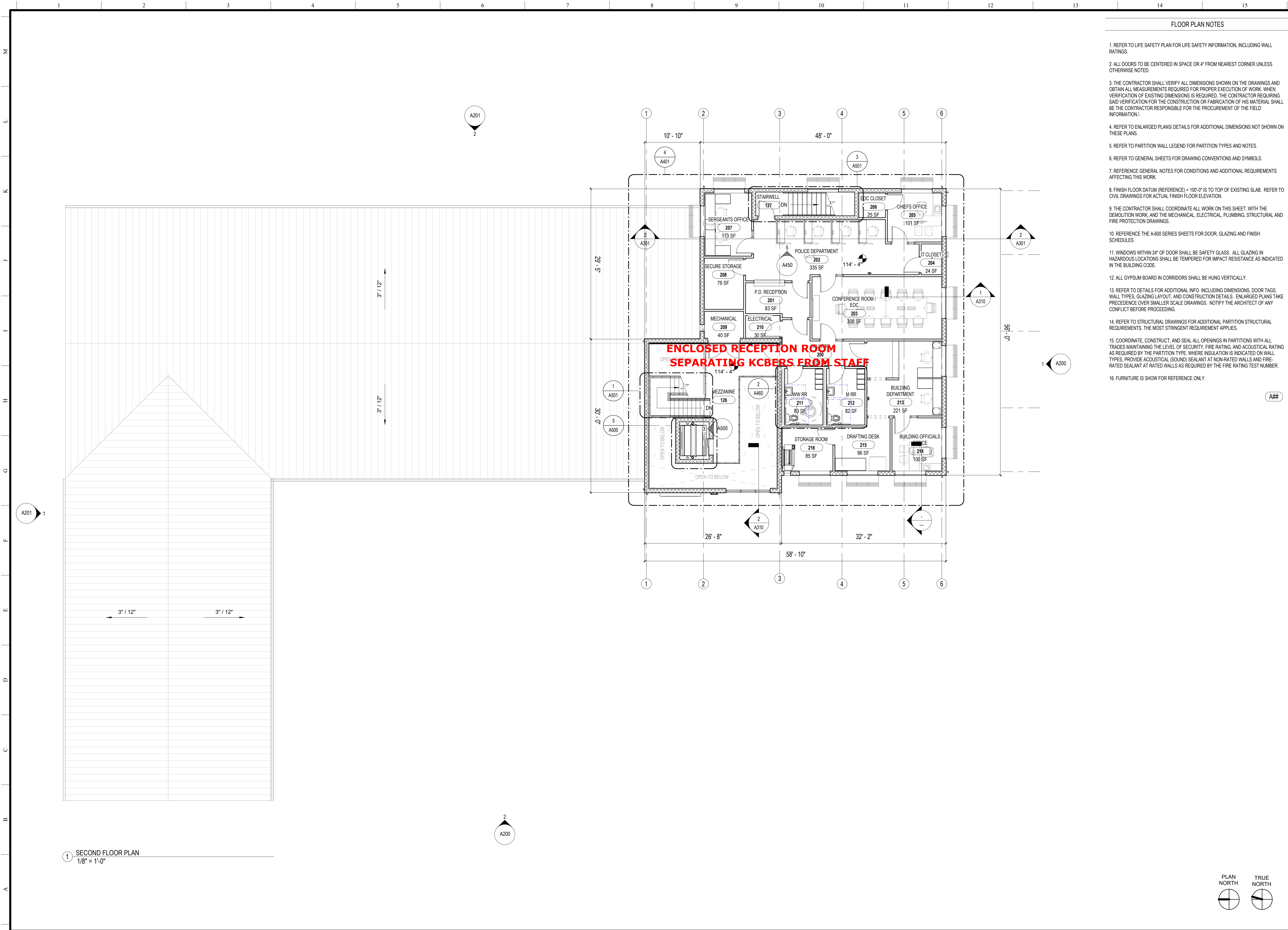
1. THE SITE PLAN INFORMATION CONTAINED ON THIS SHEET IS PROVIDED FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR DETAILED SITE INFORMATION. CIVIL DRAWINGS ARE CONTAINED IN A SEPARATE PERMIT PACKAGE.
2. SITE INFORMATION SHOWN HEREIN IS TAKEN FROM INFORMATION PROVIDED BY OTHERS NOT UNDER CONTRACT/CONTROL OF THE ARCHITECT. THE ARCHITECT HAS VERIFIED THE ACCURACY AND/OR COMPLETENESS OF THIS INFORMATION BASED ON VISUAL OBSERVATION ONLY. THEREFORE, THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR ERRORS, OMISSIONS, CONFLICTS, DEFICIENCIES, OR INACCURACIES ARISING FROM THE DISCOVERY OF CONCEALED, UNKNOWN OR DIFFERING CONDITIONS AS A RESULT OF THIS CIRCUMSTANCE. THE CONTRACTOR SHOULD FULLY ACQUAINT HIMSELF WITH THE SITE AND FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO PERFORMING ANY WORK.
3. REFER TO CIVIL DRAWINGS FOR GRADING, BUILDING LOCATION, PARKING AND LOCATION OF ALL UTILITIES.
4. THIS IS NOT A SURVEY. REFER TO THE PLATTED SURVEY FOR ACCURACY.
5. ANY SIGNAGE SHOWN IS FOR REFERENCE ONLY. ALL SIGNAGE MUST BE PERMITTED SEPARATELY.
6. REFERENCE SHEET G SERIES DRAWINGS FOR GENERAL NOTES AND CONDITIONS AFFECTING THIS WORK.
7. CONTRACTOR SHALL FOLLOW COUNTY ORDINANCE OF MAXIMUM BUILDING HEIGHT OF 42FT FROM NEAREST AND HIGHEST ROAD CROWN. REFER TO CIVIL FOR SITE ELEVATION INFORMATION. REFER TO ELEVATIONS FOR BUILDING HEIGHT.

1 ARCHITECTURAL SITE PLAN  
1" = 20'-0"



# A101

**NOTE: THE SCALE OF THESE PLANS MAY HAVE CHANGED DUE TO REPRODUCTION**



1 SECOND FLOOR PLAN  
1/8" = 1'-0"

FLOOR PLAN NOTES

1. REFER TO LIFE SAFETY PLAN FOR LIFE SAFETY INFORMATION, INCLUDING WALL RATINGS.
2. ALL DOORS TO BE CENTERED IN SPACE OR 4" FROM NEAREST CORNER UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AND OBTAIN ALL MEASUREMENTS REQUIRED FOR PROPER EXECUTION OF WORK. WHEN VERIFICATION OF EXISTING DIMENSIONS IS REQUIRED, THE CONTRACTOR REQUIRING SAID VERIFICATION FOR THE CONSTRUCTION OR FABRICATION OF HIS MATERIAL, SHALL BE THE CONTRACTOR RESPONSIBLE FOR THE PROCUREMENT OF THE FIELD INFORMATION.
4. REFER TO ENLARGED PLANS/ DETAILS FOR ADDITIONAL DIMENSIONS NOT SHOWN ON THESE PLANS.
5. REFER TO PARTITION WALL LEGEND FOR PARTITION TYPES AND NOTES.
6. REFER TO GENERAL SHEETS FOR DRAWING CONVENTIONS AND SYMBOLS.
7. REFERENCE GENERAL NOTES FOR CONDITIONS AND ADDITIONAL REQUIREMENTS AFFECTING THIS WORK.
8. FINISH FLOOR DATUM (REFERENCE) = 100'-0" IS TO TOP OF EXISTING SLAB. REFER TO CIVIL DRAWINGS FOR ACTUAL FINISH FLOOR ELEVATION.
9. THE CONTRACTOR SHALL COORDINATE ALL WORK ON THIS SHEET, WITH THE DEMOLITION WORK, AND THE MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL AND FIRE PROTECTION DRAWINGS.
10. REFERENCE THE A-600 SERIES SHEETS FOR DOOR, GLAZING AND FINISH SCHEDULES.
11. WINDOWS WITHIN 24" OF DOOR SHALL BE SAFETY GLASS. ALL GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED FOR IMPACT RESISTANCE AS INDICATED IN THE BUILDING CODE.
12. ALL GYPSUM BOARD IN CORRIDORS SHALL BE HUNG VERTICALLY.
13. REFER TO DETAILS FOR ADDITIONAL INFO, INCLUDING DIMENSIONS, DOOR TAGS, WALL TYPES, GLAZING LAYOUT, AND CONSTRUCTION DETAILS. ENLARGED PLANS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. NOTIFY THE ARCHITECT OF ANY CONFLICT BEFORE PROCEEDING.
14. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL PARTITION STRUCTURAL REQUIREMENTS. THE MOST STRINGENT REQUIREMENT APPLIES.
15. COORDINATE, CONSTRUCT, AND SEAL ALL OPENINGS IN PARTITIONS WITH ALL TRADES MAINTAINING THE LEVEL OF SECURITY, FIRE RATING, AND ACOUSTICAL RATING AS REQUIRED BY THE PARTITION TYPE. WHERE INSULATION IS INDICATED ON WALL TYPES, PROVIDE ACOUSTICAL (SOUND) SEALANT AT NON-RATED WALLS AND FIRE-RATED SEALANT AT RATED WALLS AS REQUIRED BY THE FIRE RATING TEST NUMBER.
16. FURNITURE IS SHOWN FOR REFERENCE ONLY.



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**A Full Service  
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1992 SW 1ST, STREET  
MIAMI, FLORIDA 33135  
Ph. (305) 274-4805

Plans Prepared By :  
**CPH Consulting, LLC.**  
FOR THE CITY OF  
KEY COLONY BEACH

**- NOT FOR CONSTRUCTION -**

REVISION	
NO.	DATE

PROJECT STATUS

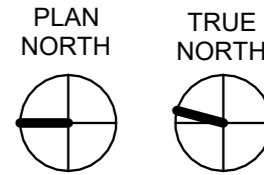
Designed:	CPH
Drawn:	CPH
Checked:	CPH
Project No.:	2401034
Issue Date:	08/14/2025
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FLOOR PLAN - SECOND FLOOR

600 W. OCEAN DRIVE, KEY COLONY BEACH, FLORIDA 33051

THIS SHEET NOT VALID FOR  
CONSTRUCTION WITHOUT COMPLETE  
SET OF PLANS. SEE GENERAL NOTES  
FOR MASTER LEGEND

Sheet No.  
**A102**

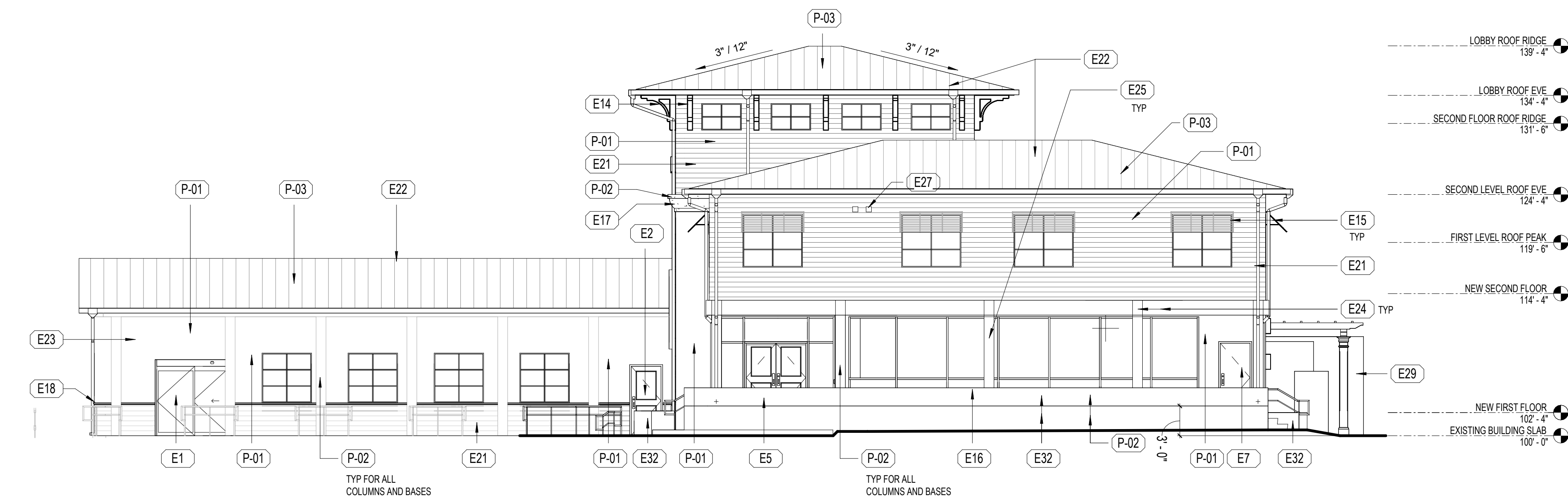


EXTERIOR COLOR LEGEND		P##
#	DESCRIPTION	
P-01	SHERWIN WILLIAMS - IBIS WHITE - SW7000	
P-02	SHERWIN WILLIAMS - WHITE SNOW - SW9541	
P-03	TRI COUNTY METALS HAWAIIAN BLUE	

ELEVATION KEYNOTE LEGEND		E##
#	DESCRIPTION	
E1	POST OFFICE ENTRANCE 1	
E2	POST OFFICE ENTRANCE 2	
E3	MARBLE HALL ENTRANCE	
E4	SECONDARY ENTRANCE	
E5	MAIN ENTRANCE	
E6	FITNESS ROOM ENTRANCE	
E7	POLICE STAIR	
E9	ADMIN EMPLOYEE ACCESS DOOR	
E10	MARBLE HALL PATIO DOOR 1	
E11	MARBLE HALL PATIO DOOR 2	
E12	POST OFFICE SERVICE DOOR 1	
E13	POST OFFICE SERVICE DOOR 2	
E14	CORBLE - LOW COUNTRY GRAY, HB ELEMENTS INC	
E15	BAHAMUA SHUTTER - STANDARD GRAY, TOWN AND COUNTRY INC.	
E16	STORE FRONT	
E17	CORNICHE - HIGH	
E18	CORNICHE - LOW	
E19	CITY SEAL	
E20	SIGNAGE	
E21	SHIPLAUF STUCCO	
E22	STANDING SEAM METAL ROOF	
E23	STUCCO	
E24	BEAM	
E25	COLUMN & BASE	
E26	PERGOLA - LOW COUNTRY GRAY, HB ELEMENTS INC	
E27	EXHAUST LOUVERS	
E28	LOUVERS	
E29	PRIVACY WALL WITH STUCCO FINISH TO MATCH THE BUILDING FACAD	
E30	EXISTING WINDOW	
E31	PRIVACY WALL WITH STUCCO FINISH TO MATCH THE BUILDING FACAD	
E32	STUCCO FINISHED CONCRETE PLANTER	

### EXTERIOR ELEVATION GENERAL NOTES

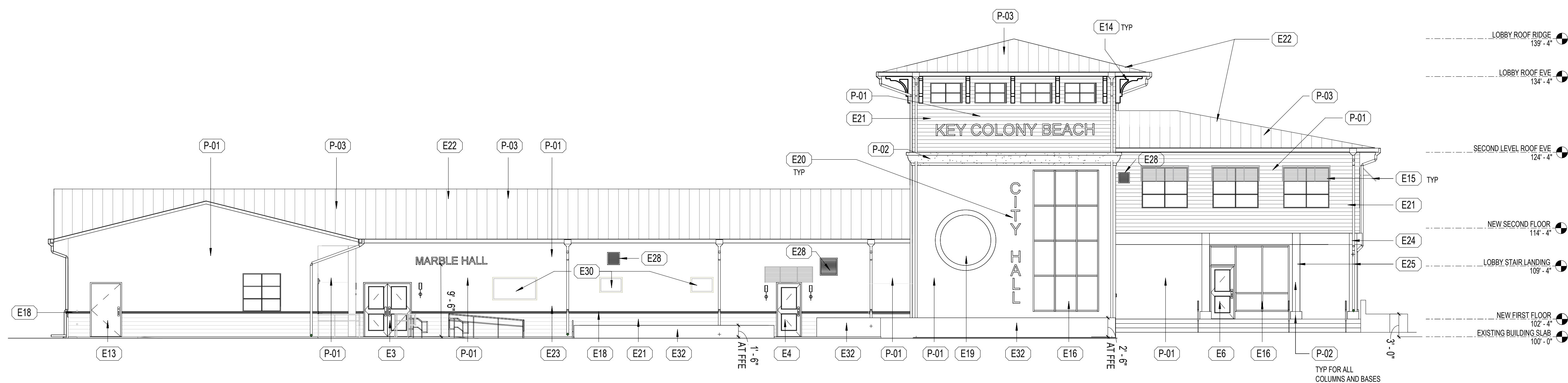
1. ELEVATION HEIGHTS ARE FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL FLOOR HEIGHT ABOVE SEA LEVEL. CONTACT THE ARCHITECT OF RECORD IF HEIGHTS DIFFER.
2. ALL VERTICAL DIMENSIONS ARE FROM THE FINISHED FLOOR, UNLESS NOTED OTHERWISE.
3. NO SIGNAGE IS INCLUDED IN THIS PACKAGE. SIGNAGE IS SHOWN FOR REFERENCE ONLY. ALL SIGNS MUST BE PERMITTED SEPARATELY.
4. DO NOT TRANSITION PAINT COLORS ON AN EXTERIOR CORNER. ALL COLOR CHANGES SHOULD BE AT INTERIOR CORNERS, UNLESS NOTED OTHERWISE. CONTACT THE ARCHITECT IF A CONFLICT OCCURS.
5. PAINT ALL EXPOSED EDGES OF TRIM, INCLUDING THE TOP AND BOTTOM EDGES.
6. ALL METAL PAINT TO BE ENAMEL BASE.
7. LOUVERS AND PANEL FRONTS SHALL BE SPRAY-PAINTED TO MATCH ADJACENT SURFACES, INCLUDING FACTORY-FINISHED ITEMS, UNLESS NOTED OTHERWISE. BRUSH PAINTING OF THESE ITEMS WILL NOT BE PERMITTED.
8. THE GENERAL CONTRACTOR SHALL PAINT ALL EXPOSED PIPES, CONDUITS, DISCONNECTS & JUNCTION BOXES TO MATCH THE ADJACENT SURFACE.
9. PROVIDE AND COORDINATE KNOXBOX LOCATION WITH FIRE DEPARTMENT AND LIFE SAFETY PLAN PRIOR TO INSTALLATION.
10. THE GENERAL CONTRACTOR SHALL COORDINATE ALL WORK ON THIS SHEET WITH DEMOLITION WORK, AND THE MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL AND FIRE PROTECTION DRAWINGS.
11. ALL PRE-MANUFACTURED TRIM, MOULDINGS, CLADDING & COMPONENTS SHALL BE FASTENED & ADHERED TO THE BUILDING PER MANUFACTURER SPECIFICATIONS TO WITHSTAND DESIGN WIND PRESSURE IDENTIFIED ON STRUCTURAL DRAWINGS.
12. COORDINATE WITH ARCHITECT THE LOCATION OF ALL ADDITIONAL CONTROL JOINTS REQUIRED BUT NOT INDICATED ON PLANS.
13. ALL EXTERIOR SURFACES TO BE PAINTED IN THE FIELD OR BE PROVIDED WITH FACTORY OR SHOP APPLIED FINISH AS REQUIRED. ALL COLORS SHALL BE SELECTED BY ARCHITECT, APPROVED BY OWNER.
14. EXISTING CMU WALL TO BE MORTAR-FILLED UP TO 40" MAX (REFER TO STRUCTURAL DRAWINGS FOR DETAILS).
15. STUCCO SHALL BE APPLIED TO EXTERIOR STRUCTURAL COLUMNS, COLUMN BASES, AND VISIBLE / EXPOSED PLASTER SURFACES.



1 FRONT ELEVATION  
1/8" = 1'-0"

## THREE STORY TOWER EXCEEDS KCB ORDINANCE

**THE PLANS SHOW NO AFTER HOURS  
ADA ACCESS TO THE "FITNESS ROOM"**



2 SIDE (WEST) ELEVATION  
1/8" = 1'-0"

ELEVATION/SECTION LEGEND

_____	EXISTING TO REMAIN
_____	
_____	NEW WORK



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Ph. (305) 274-4805

Plans Prepared By :  
PH Consulting, LLC.

FOR THE CITY OF  
KEY COLONY BEACH

FOR CONSTRUCTION.

[illegible]

## PROJECT STATUS

Designed:	CPH
Drawn:	CPH
Checked:	CPH
Project No.:	2401034
Issue Date:	08/14/2025
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## EXTERIOR ELEVATIONS

3300 W. COLEMAN DRIVE, NET COLENT BEACH, FLORIDA 33031

THIS SHEET NOT VALID FOR  
CONSTRUCTION WITHOUT COMPLETE  
SET OF PLANS. SEE GENERAL NOTES  
FOR MASTER LEGEND

Sheet No.

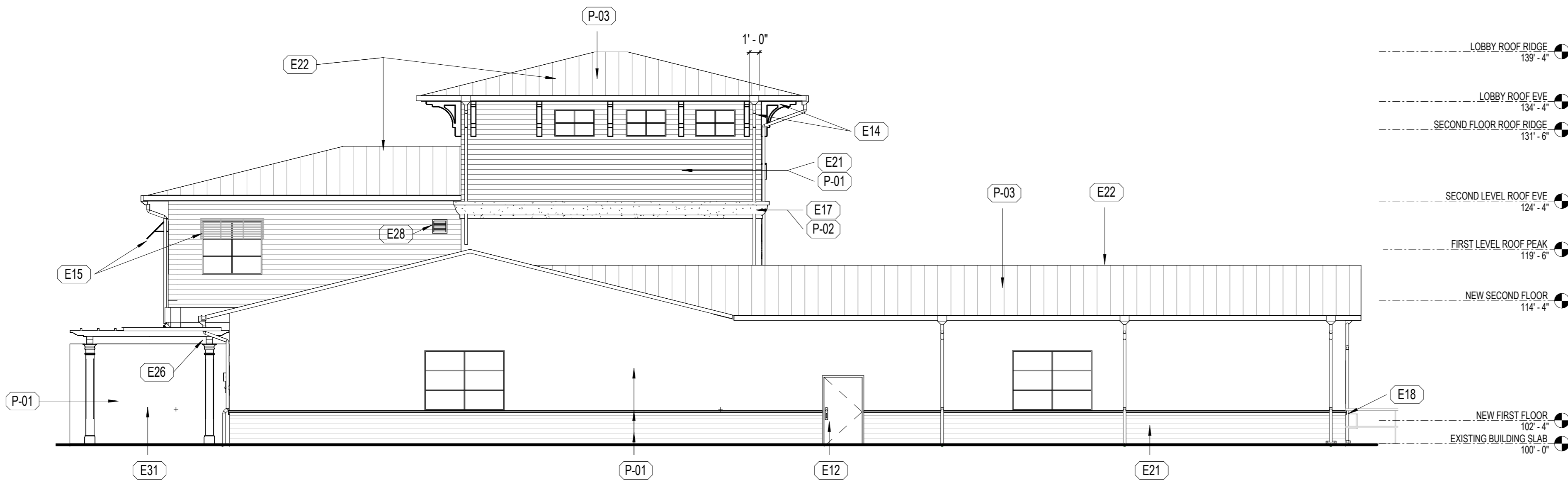
# A200

EXTERIOR COLOR LEGEND (P##)	
#	DESCRIPTION
P-01	SHERWIN WILLIAMS - IBIS WHITE - SW7000
P-02	SHERWIN WILLIAMS - WHITE SNOW - SW9541
P-03	TRI COUNTY METALS HAWAIIAN BLUE

ELEVATION KEYNOTE LEGEND (E##)	
#	DESCRIPTION
E1	POST OFFICE ENTRANCE 1
E2	POST OFFICE ENTRANCE 2
E3	MARBLE HALL ENTRANCE
E4	SECONDARY ENTRANCE
E5	MAIN ENTRANCE
E6	FITNESS ROOM ENTRANCE
E7	POLICE STAIR
E9	ADMIN EMPLOYEE ACCESS DOOR
E10	MARBLE HALL PATIO DOOR 1
E11	MARBLE HALL PATIO DOOR 2
E12	POST OFFICE SERVICE DOOR 1
E13	POST OFFICE SERVICE DOOR 2
E14	CORBLE - LOW COUNTRY GRAY, HB ELEMENTS INC.
E15	BAHAMA SHUTTER - STANDARD GRAY, TOWN AND COUNTRY IND.
E16	STORE FRONT
E17	CORNICE - HIGH
E18	CORNICE - LOW
E19	CITY SEAL
E20	SIGNAGE
E21	SHIPLAP STUCCO
E22	STANDING SEAM METAL ROOF
E23	STUCCO
E24	BEAM
E25	COLUMN & BASE
E26	PERGOLA - LOW COUNTRY GRAY, HB ELEMENTS INC.
E27	EXHAUST LOUVERS
E28	LOUVERS
E29	PRIVACY WALL WITH STUCCO FINISH TO MATCH THE BUILDING FACADE.
E30	EXISTING WINDOW
E31	PRIVACY WALL WITH STUCCO FINISH TO MATCH THE BUILDING FACADE.
E32	STUCCO FINISHED CONCRETE PLANTER

EXTERIOR ELEVATION GENERAL NOTES

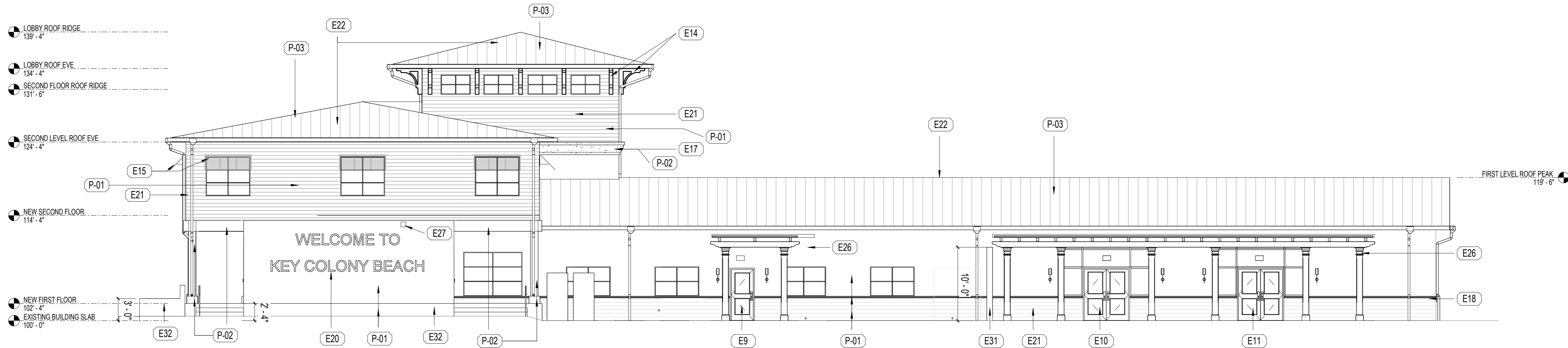
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- ALL VERTICAL DIMENSIONS ARE FROM THE FINISHED FLOOR, UNLESS NOTED OTHERWISE.
- NO SIGNAGE IS INCLUDED IN THIS PACKAGE. SIGNAGE IS SHOWN FOR REFERENCE ONLY. ALL SIGNS MUST BE PERMITTED SEPARATELY.
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- THE GENERAL CONTRACTOR SHALL PAINT ALL EXPOSED PIPES, CONDUITS, DISCONNECTS & JUNCTION BOXES TO MATCH THE ADJACENT SURFACE.
- PROVIDE AND COORDINATE KNOXBOX LOCATION WITH FIRE DEPARTMENT AND LIFE SAFETY PLAN PRIOR TO INSTALLATION.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL WORK ON THIS SHEET WITH DEMOLITION WORK, AND THE MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL AND FIRE PROTECTION DRAWINGS.
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- COORDINATE WITH ARCHITECT THE LOCATION OF ALL ADDITIONAL CONTROL JOINTS REQUIRED BUT NOT INDICATED ON PLANS.
- ALL EXTERIOR SURFACES TO BE PAINTED IN THE FIELD OR BE PROVIDED WITH FACTORY OR SHOP APPLIED FINISH AS REQUIRED. ALL COLORS SHALL BE SELECTED BY ARCHITECT, APPROVED BY OWNER.
- EXISTING CMU WALL TO BE MORTAR-FILLED UP TO 40" MAX (REFER TO STRUCTURAL DRAWINGS FOR DETAILS).
- STUCCO SHALL BE APPLIED TO EXTERIOR STRUCTURAL COLUMNS, COLUMN BASES, AND VISIBLE / EXPOSED PLANTER SURFACES.



1 REAR ELEVATION  
1/8" = 1'-0"

THREE STORY TOWER EXCEEDS  
KCB ORDINANCE

THE PLANS SHOW NO AFTER HOURS  
ADA ACCESS TO THE "FITNESS ROOM"



2 SIDE (EAST) ELEVATION  
1/8" = 1'-0"

ELEVATION/SECTION LEGEND

- EXISTING TO REMAIN
- NEW WORK



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Plans Prepared By :  
CPH Consulting, LLC.  
FOR THE CITY OF  
KEY COLONY BEACH

- NOT FOR CONSTRUCTION -

REVISION	
NO.	DATE

PROJECT STATUS

Designed:	CPH
Drawn:	CPH
Checked:	CPH
Project No.:	2401034
Issue Date:	08/14/2025
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EXTERIOR ELEVATIONS

600 W. OCEAN DRIVE, KEY COLONY BEACH, FLORIDA 33051

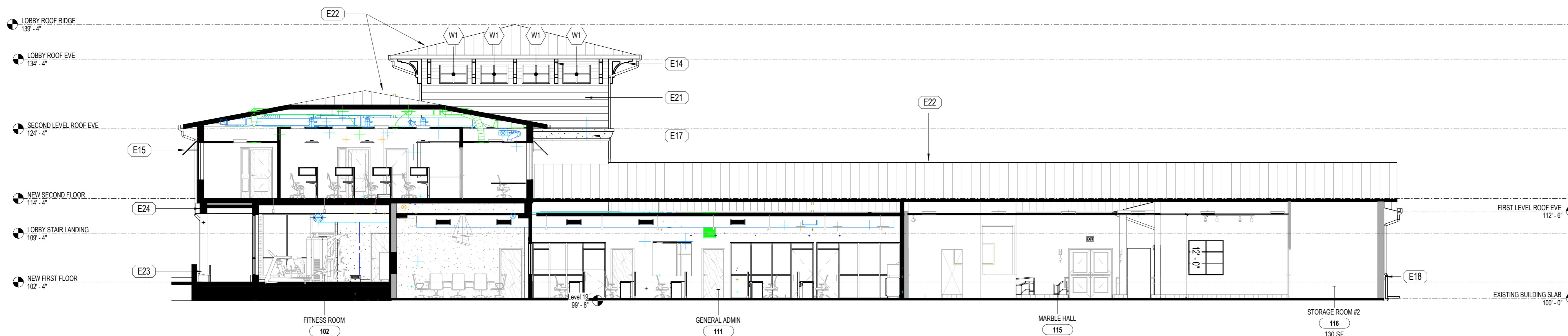
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FOR MASTER LEGEND

Sheet No.  
**A201**

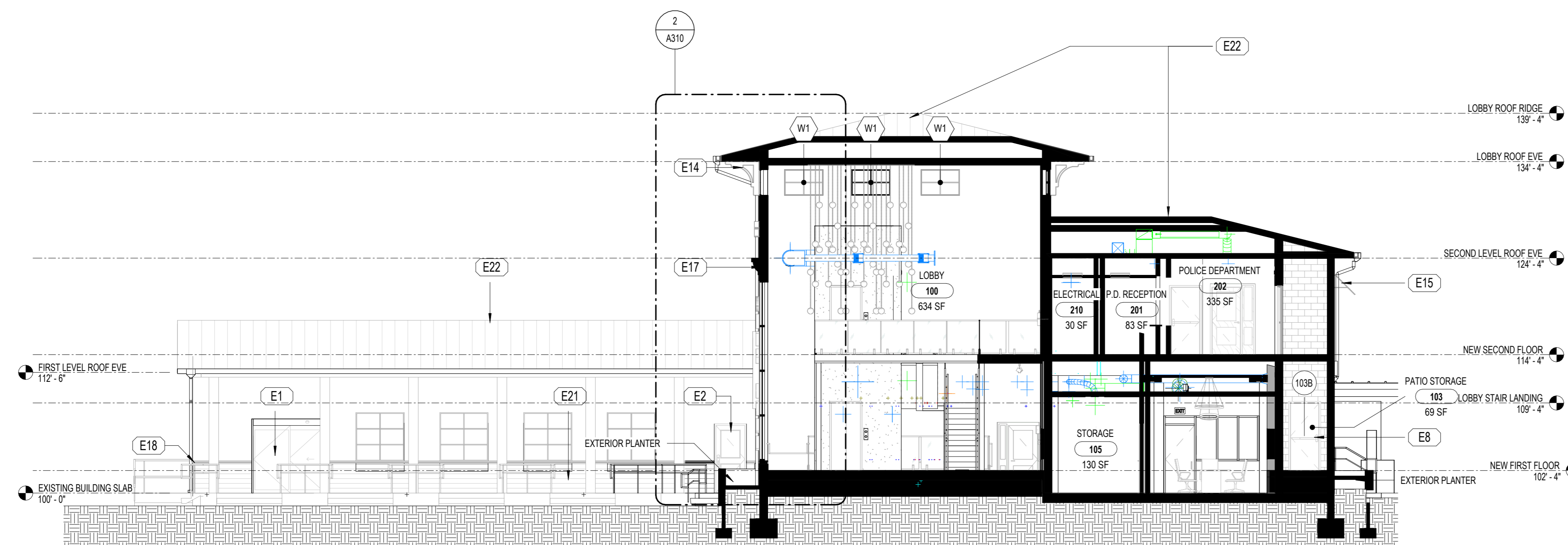
BUILDING SECTION KEYNOTE LEGEND	
#	DESCRIPTION
E1	POST OFFICE ENTRANCE 1
E2	POST OFFICE ENTRANCE 2
E4	MECHANICAL ROOM
E8	CORBLE - LOW COUNTRY GRAY, HB ELEMENTS INC.
E14	BAHAMIA SHUTTER - STANDARD GRAY, TOWN AND COUNTRY IND.
E17	CORNICE - HIGH
E18	CORNICE - LOW
E21	SHIPLAP STUCCO
E22	STANDING SEAM MTL ROOF
E23	STUCCO
E24	BFAM

BUILDING SECTION GENERAL NOTES

1. FINISH FLOOR DATUM (REFERENCE) = 0'-0" IS TO TOP OF SLAB. REFER TO CIVIL DRAWINGS FOR ACTUAL FINISH FLOOR ELEVATION.
2. THE GENERAL CONTRACTOR SHALL COORDINATE ALL WORK ON THIS SHEET WITH THE DEMOLITION WORK, AND THE MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL AND FIRE PROTECTION DRAWINGS.
3. ELEVATION HEIGHTS ARE FOR REFERENCE ONLY TO ARCHITECTURAL DRAWINGS. SEE CIVIL DRAWINGS FOR ACTUAL FLOOR HEIGHT ABOVE SEA LEVEL. CONTACT THE ARCHITECT OF RECORD IF HEIGHTS DIFFER.
4. STRUCTURAL ELEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
5. THE EXISTING STRUCTURE IS SHOWN FOR REFERENCE ONLY.
6. FURNITURE SUPPLY BY OWNER.



1 WEST BUILDING SECTION  
1/8" = 1'-0"



2 NORTH BUILDING SECTION  
1/8" = 1'-0"

## THREE STORY TOWER EXCEEDS KCB ORDINANCE

**THE PLANS SHOW NO AFTER HOURS  
ADA ACCESS TO THE "FITNESS ROOM"**

**- NOT FOR CONSTRUCTION -**

[illegible]

## PROJECT STATUS

<b>Designed:</b>	CPH
<b>Drawn:</b>	CPH
<b>Checked:</b>	CPH
<b>Project No.:</b>	2401034
<b>Issue Date:</b>	08/14/2025
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## BUILDING SECTIONS

6500 W. OCEAN DRIVE, KEY COLONY BEACH, FLORIDA 33051

THIS SHEET NOT VALID FOR  
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SET OF PLANS. SEE GENERAL NOTES  
FOR MASTER LEGEND

Sheet No.  
**A300**

### ELEVATION/SECTION LEGEND

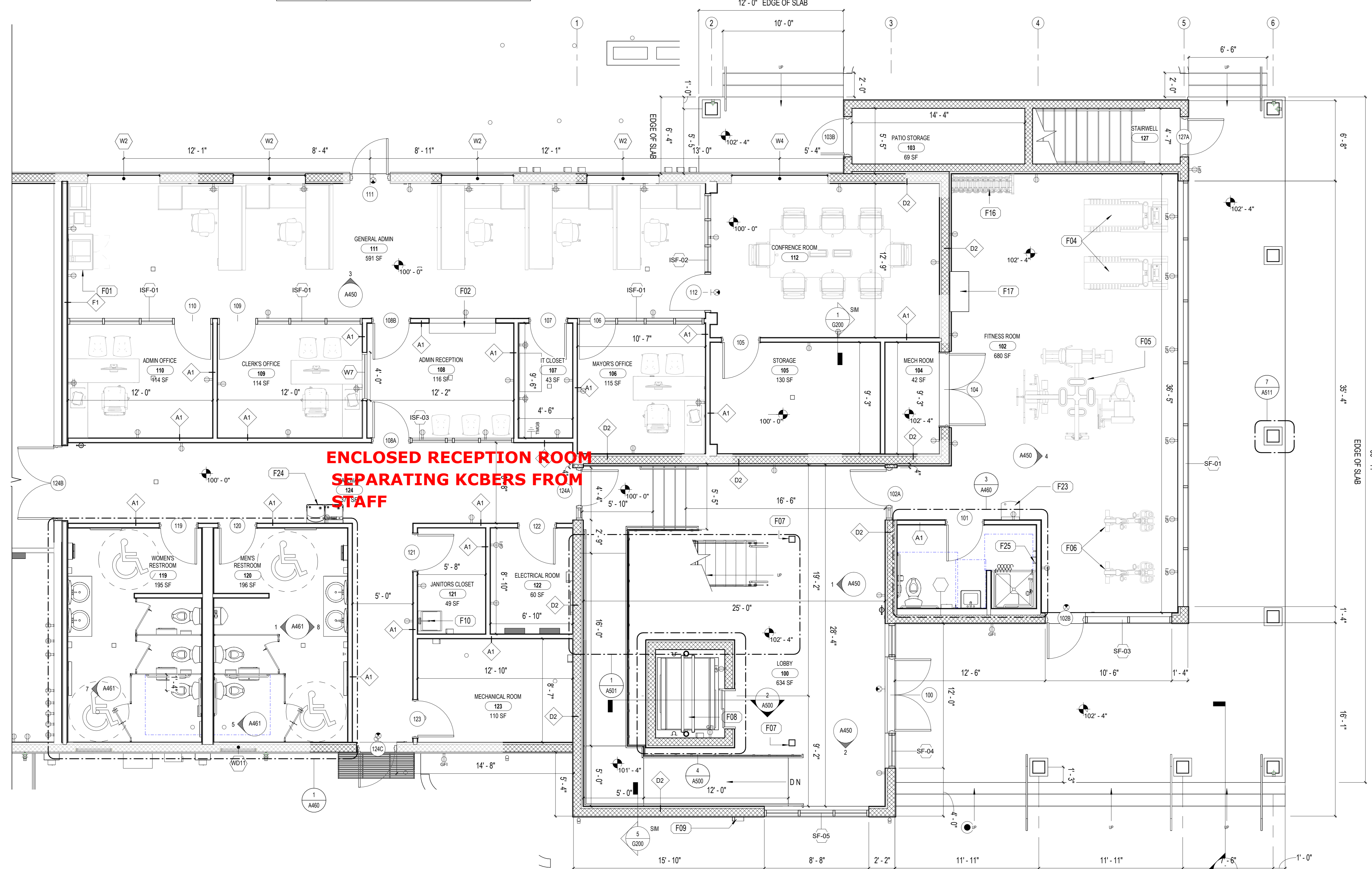
EXISTING TO REMAIN

NEW WORK

INTERIOR ELEVATION ELEVATION KEYNOTE LEGEND (F##)	
#	DESCRIPTION
F1	REMOVE EXISTING ACOUSTICAL CEILING TILE, SUSPENSION GRID, AND SUPPORTING STRUCTURE AS REQUIRED REMOVE ALL CEILING FIXTURES AND ACCESSORIES
F01	WORKSPACE WITH UNDER-COUNTER STORAGE
F2	EXISTING PORTION OF WALL TO BE DEMOLISHED.
F02	RECEPTION COUNTER
F3	NO SCOPE OF WORK IN THIS AREA
F03	PERGOLA COLUMNS (GC CONSTRUCTED ON SITE)
F04	PROPOSED TREADMILL (BY OWNER)
F05	PROPOSED MULTI-STACK GYM SYSTEM (BY OWNER)
F06	STATIONARY BICYCLE (BY OWNER)
F07	MEZZANINE COLUMN
F08	ELEVATOR MANUFACTURER: TK ELEVATOR, MODEL: EOX-A 100 2100 150
F09	NEW CITY HALL SIGN
F10	MUSTEE UTILITY SINK

INTERIOR ELEVATION ELEVATION KEYNOTE LEGEND (F##)	
#	DESCRIPTION
F11	OFFICE DESK
F12	CUBICAL
F13	PLOTTER
F14	DRAFTING TABLE
F16	PROPOSED FREE WEIGHT (BY OWNER)
F17	TRAY CUBBIES
F18	SIGNAGE
F19	WALL MOUNTED TV
F20	CONFERENCE ROOM CABINETS
F21	UNDER COUNTER FRIDGE
F22	EXTERIOR WINDOW LOUVERS
F23	ELKAY EZH2O
F24	ELKAY EZH2O BI-LEVEL
F25	TOWEL HOOK

- ENLARGED PLAN NOTES
- ALL INTERIOR PARTITIONS WALLS TYPES PER PARTITION SCHEDULE.
  - ALL DOORS TO BE CENTERED IN SPACE OR 4" FROM NEAREST CORNER UNLESS OTHERWISE NOTED.
  - REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL PARTITION STRUCTURAL REQUIREMENTS. THE MOST STRINGENT REQUIREMENT APPLIES.
  - COORDINATE, CONSTRUCT, AND SEAL ALL OPENINGS IN PARTITIONS WITH ALL TRADES MAINTAINING THE LEVEL OF SECURITY, FIRE RATING, AND ACOUSTICAL RATING AS REQUIRED BY THE PARTITION TYPE.
  - FURNITURE PROVIDED BY OTHERS AND IS SHOWN FOR REFERENCE ONLY, UNLESS OTHERWISE NOTED.
  - REFER TO A101 FOR DOORS 115A - 115C AND 125A - 125D
  - SEE GLAZING AND STORE FRONT SCHEDULE FOR ADDITIONAL INFORMATION



1 ENLARGED GROUND FLOOR PLAN  
1/4" = 1'-0"



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A & E Firm

1992 SW 1ST STREET  
MIAMI, FLORIDA 33135  
Ph: (305) 274-4805

Plans Prepared By:  
CPH Consulting, LLC.  
FOR THE CITY OF  
KEY COLONY BEACH

NOT FOR CONSTRUCTION

REVISION	
NO.	DATE

PROJECT STATUS

Designed:	CPH
Drawn:	CPH
Checked:	CPH
Project No.:	2401034
Issue Date:	08/14/2025
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ENLARGED PLANS - GROUND FLOOR

600 W. OCEAN DRIVE, KEY COLONY BEACH, FLORIDA 33051

THIS SHEET NOT VALID FOR  
CONSTRUCTION WITHOUT COMPLETE  
SET OF PLANS. SEE GENERAL NOTES  
FOR MASTER LEGEND

Sheet No.  
**A400**



INTERIOR ELEVATION ELEVATION KEYNOTE LEGEND	
#	DESCRIPTION
F1	REMOVE EXISTING ACOUSTICAL CEILING TILE, SUSPENSION GRID, AND SUPPORTING STRUCTURE AS REQUIRED REMOVE ALL CEILING FIXTURES AND ACCESSORIES
F01	WORKSPACE WITH UNDER-COUNTER STORAGE
F2	EXISTING PORTION OF WALL TO BE DEMOLISHED.
F02	RECEPTION COUNTER
F3	NO SCOPE OF WORK IN THIS AREA
F03	PERGOLA COLUMNS ( GC CONSTRUCTED ON SITE)
F04	PROPOSED TREADMILL ( BY OWNER)
F05	PROPOSED MULTI-STACK GYM SYSTEM ( BY OWNER)
F06	STATIONARY BICYCLE ( BY OWNER)
F07	MEZZANINE COLUMN
F08	ELEVATOR- MANUFACTURER: TK ELEVATOR, MODEL- EOX-A 100 2100 150
F09	NEW CITY HALL SIGN
F10	MUSTEE UTILITY SINK
F11	OFFICE DESK
F12	CUBICAL
F13	PLOTTER
F14	DRAFTING TABLE
F16	PROPOSED FREE WEIGHT ( BY OWNER)
F17	TRAY CUBBIES
F18	SIGNAGE
F19	WALL MOUNTED TV
F20	CONFERENCE ROOM CABINETS
F21	UNDER COUNTER FRIDGE
F22	EXTERIOR WINDOW LOUVERS
F23	ELKAY EZH2O
F24	ELKAY EZH2O BI-LEVEL
F25	TOWEL HOOK

**- NOT FOR CONSTRUCTION -**

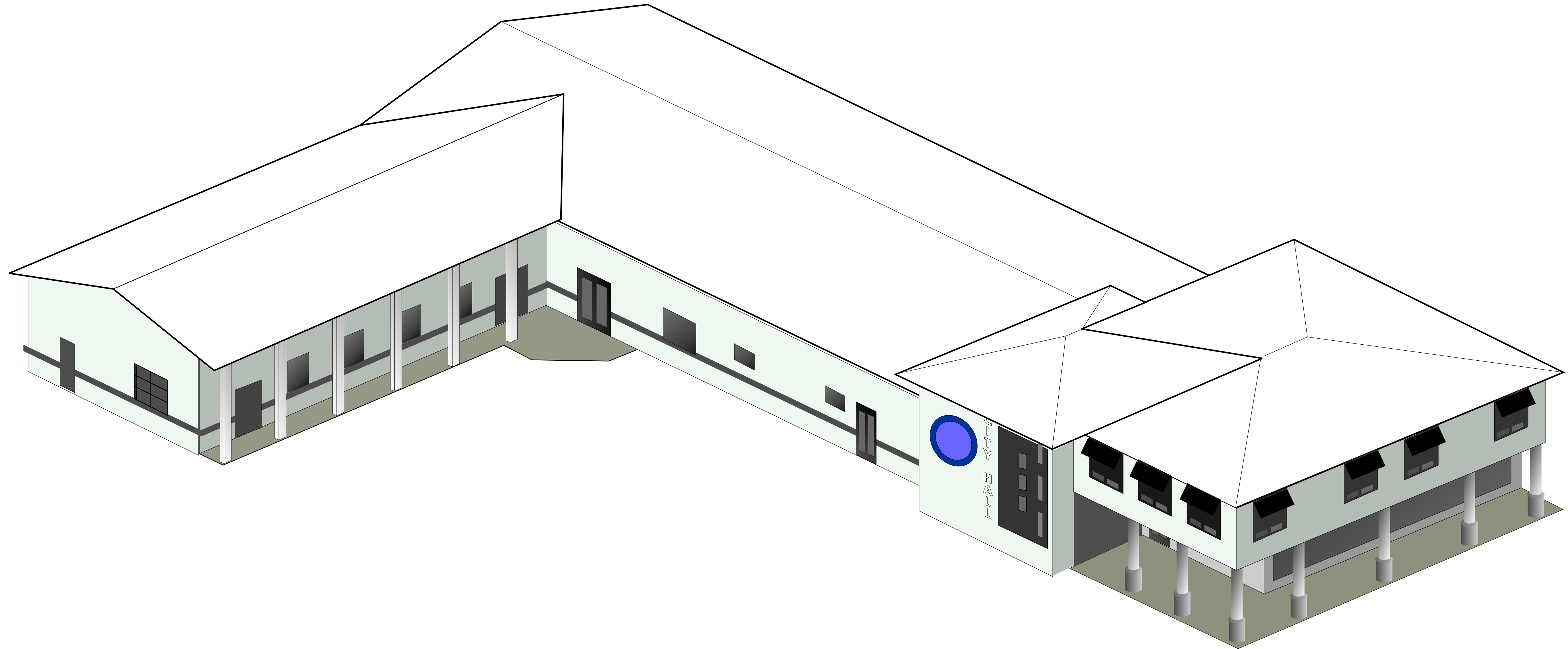
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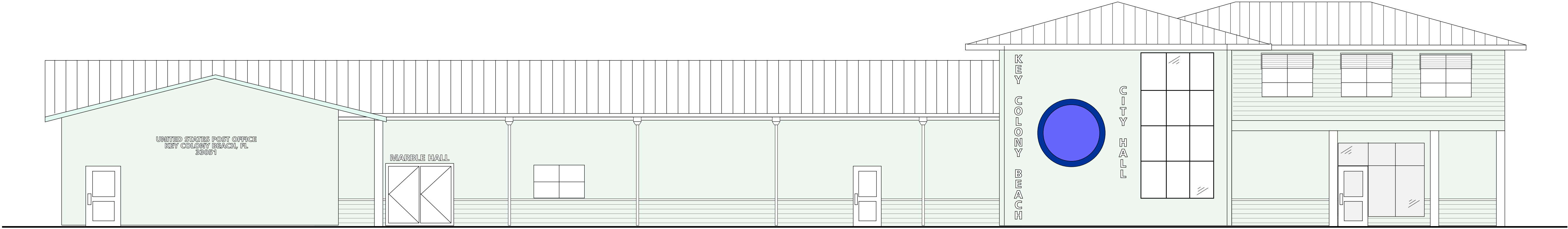
600 W. OCEAN DRIVE, KEY COLONY BEACH, FLORIDA 33051

Sheet No.  
**A401**

THIS PROPOSED VIEW OF THE KEY COLONY BEACH CITY HALL REDUCES THE "TOWER" ENTRY TO A LEGAL TWO STORIES AND LEVELS THE PARKING LOT FOR GROUND LEVEL ENTRY TO ALL SECTIONS OF THE BUILDING. IT USES THE PAINT COLOR OF THE CURRENT CITY HALL AND ALL OF THE ARCHITECTURAL CUES FROM THE CPH DESIGN PLUS A WHITE STANDING SEAM METAL ROOF.



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WEST ELEVATION  
(VIEW FROM PARKING LOT)



EAST ELEVATION  
(VIEW FROM SADOWSKY CAUSEWAY)