

# **AGENDA**

## **KEY COLONY BEACH CITY COMMISSION**

### **SPECIAL MEETING**

Monday, May 5<sup>th</sup>, 2025 – 9:30 AM

Marble Hall, 600 W. Ocean Drive, Key Colony Beach  
& via Zoom Conferencing

[Zoom Login Information below](#)

- 1. Call to Order, Pledge of Allegiance, Prayer, Roll Call**
  - 2. Approval of the Agenda** (*Additions, changes, and deletions can be made via one motion and a second to approve by a majority vote*)
  - 3. Citizen Comments and Correspondence**
  - 4. Discussion/Approval Items**
    - a. Presentation by CPH Architect Brandan DeCaro on the 60% Design Development Drawings
    - b. Discussion/Approval of the City Hall 60% Design Drawings – **Pgs. 1-28**
  - 5. Any Other Business**
  - 6. Adjournment**
- 

This meeting will be held at the City Hall Auditorium ‘Marble Hall’,  
600 W. Ocean Drive, Key Colony Beach, Florida 33051, and via Zoom.

Join from PC, Mac, iPad, or Android:

<https://us02web.zoom.us/j/86726149912?pwd=d3Nd7ERHtBNNt1BwsYj9YSKzuYEXdi.1>

Passcode:629520

Phone one-tap:

+13052241968,,86726149912#,,, \*629520# US

+16469313860,,86726149912#,,, \*629520# US

International numbers available: <https://us02web.zoom.us/j/86726149912?pwd=d3Nd7ERHtBNNt1BwsYj9YSKzuYEXdi.1>

“Members of the Public may speak for three minutes and may only speak once unless waived by a majority vote of the commission.”

Letters submitted to the City Clerk to be read at the Commission Meeting will be made part of the record but not read into record. Persons who need accommodations in order to attend or participate in this meeting should contact the City Clerk at 305-289-1212 at least 48 hours prior to this meeting in order to request such assistance. If a person decides to appeal any decision made with respect to any matter considered at any meeting, that person will need a record of the proceedings and for such purpose may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.



[illegible]

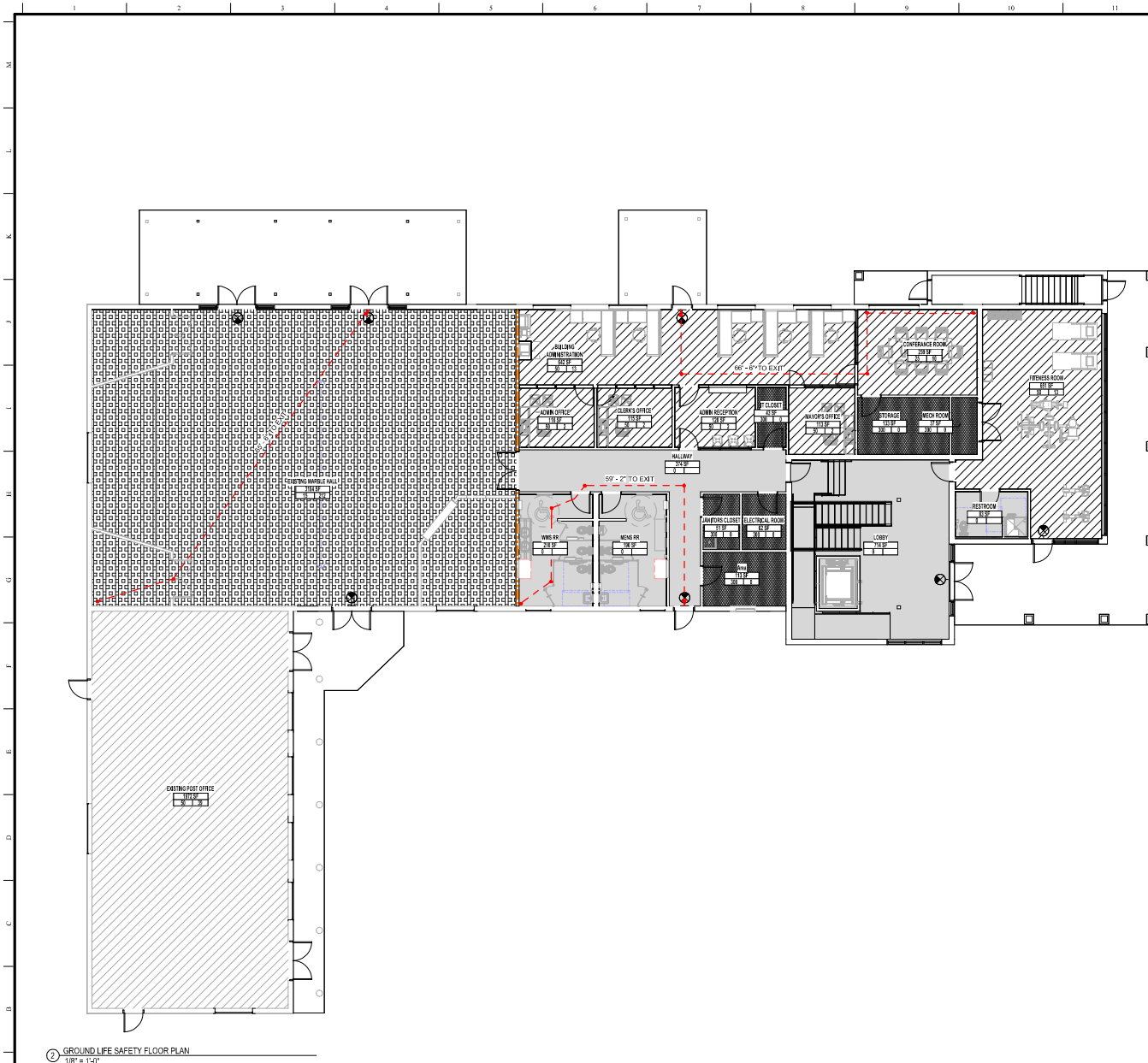
CONTRACTOR SHALL FURNISH THESE MATERIALS WITHIN THE PARAMETERS OF THE BUDGET AND SHALL NOT PURCHASE ANY COST ADDING MATERIAL OR PAY A PREMIUM (MORE THAN FAIR MARKET VALUE) WITHOUT OWNER /

[illegible]G002









GROUND LIFE SAFETY FLOOR PLAN  
1/8" = 1'-0"

ACTUAL OCCUPANT LOAD & EGRESS WIDTH CALCULATIONS, 2023 FBC					
IMAGE	OCCUPANCY	AREA (SF)	OCCUPANT LOAD FACTOR	OCCUPANT LOAD	EGRESS WIDTH
	ACCESSORY STORAGE AREAS - MECH EQUIPMENT ROOM	712	300	12	2.4
	ASSEMBLY - STANDING SPACE	3184	15	212	42.4
	BUSINESS - CONCENTRATED	4764	50	93	18.6
	BUSINESS - CONCENTRATED W/ APPROVAL	965	25	22	4.4
	UNOCCUPIED	1942	0	0	0
		11270		339	67.8

#### LIFE SAFETY GENERAL NOTES

1. AUTOMATIC FIRE SMOKE AND FIRE ALARM SYSTEMS MUST BE REVIEWED AND APPROVED BY THE AIA.
2. WALL RINGS ARE INDICATED ON LIFE SAFETY PLANS FOR OCCUPANT LIFE SAFETY.
3. FIRE EXTINGUISHERS SHALL BE LOCATED IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA 10 & SECTION 134 OF NFPA 101 OF THE EFCO LOCATED SO THAT ALL AREAS ARE WITHIN 75' OF AN EXTINGUISHER. FOR MECHANICAL & ELECTRICAL ROOMS, USE A 2A:10BC1 LOCATED SO THAT ALL AREAS ARE WITHIN 75' OF AN EXTINGUISHER. FOR KITCHENS USE A 7C EXTINGUISHER SO THAT ALL AREAS ARE WITHIN 30' OF AN EXTINGUISHER. (NEED TO CHECK REFERENCE)
4. UNLESS SPECIFICALLY INDICATED ON THE DRAWINGS OR OTHERWISE INSTRUCTED BY THE ARCHITECT, ELECTRICAL DEVICES SHALL HAVE THE FOLLOWING MOUNTING HEIGHTS: DAMPERS ARE TO CENTER OF BOX UNLESS OTHERWISE NOTED.  
MANUAL FIRE ALARM PULL STATIONS - 4" A.F.F. MAX. TO TOP OF BOX.  
FIRE ALARM BELLHORN - 5' 0" BELOW CEILING, OR IN CEILING AS REQUIRED.  
FIRE ALARM STROBE - 8" A.F.F. OR 8' BELOW CEILING, WHICHEVER IS LOWER.
5. TACTILE SIGNAGE SHALL BE PROVIDED AT ALL EXIT DOORS TO MEET THE FOLLOWING CRITERIA:  
TACTILE SIGNAGE SHALL BE LOCATED AT EACH EXIT DOOR REQUIRING AN EXIT SIGN.  
TACTILE SIGNAGE SHALL READ AS FOLLOWS: "EXIT".  
TACTILE SIGNAGE SHALL COMPLY WITH ICC/ANSI 117.1.
6. REFER TO MECHANICAL DRAWINGS FOR THE LOCATION OF FIRE AND SMOKE DAMPERS.
7. COORDINATE WITH ELECTRICAL DRAWINGS FOR THE EXACT LOCATION OF EMERGENCY LIGHTING, FIRE ALARM STROBES, AND PULL STATIONS.
8. REFER TO THE TRAVEL DISTANCE SCHEDULE FOR TRAVEL DISTANCES.
9. ALL SIGNAGE INCLUDING MAXIMUM OCCUPANCY, FIRE EXTINGUISHER INSIDE, EXIT DIAGRAMS, ETC. TO BE IN ACCORDANCE WITH LOCAL, STATE, AND NATIONAL STANDARDS AND REQUIREMENTS.
10. IT IS THE RESPONSIBILITY OF THE FURNITURE VENDOR TO FIELD VERIFY AND ASSURE THAT A MINIMUM OF 4" CLEAR ABLE ACCESS IS PROVIDED THROUGHOUT.

#### LIFE SAFETY & ACCESSIBILITY LEGEND

##### RAISED PARTITION DESIGNATION

24" O.C. RAISED PARTITION

##### EGRESS DESIGNATION

XX-XX' TO EXIT  
MAXIMUM TRAVEL DISTANCE PATH  
30'-0" DIAGONAL OF AREA SERVED  
TO DISTANCE TO 15'-0" MINIMUM REQUIRED EXIT SEPARATION  
BUILDING AREA MEASUREMENT  
DIAGONAL LINE  
30'-0" SEPARATION DISTANCE BETWEEN EXITS  
SEPARATION LINE TO THE CURB/STREET/ADJACENT LOT  
EGRESS SEPARATION LINE  
PRIMARY EGRESS  
EXIT SIGN

##### AREA CAPACITY TAG

ROOM NAME  
NET OR GROSS ROOM AREA PER LIFE SAFETY CODE  
ROOM OCCUPANT CAPACITY  
OCCUPANCY MODIFIER PER LIFE SAFETY CODE

##### STAIR CAPACITY TAG

CAPACITY OF STAIR  
PER LIFE SAFETY CODE

##### DOOR CAPACITY TAG

EXIT #	##
DOOR #	XXX
DOOR CLEAR WIDTH	3'
EGRESS CAPACITY	116
ACTUAL LOAD	200

EGRESS CAPACITY OF DOOR PER LIFE SAFETY CODE CALCULATED BASED ON DOOR CLEAR WIDTH

##### LOOK BOX TAG

LOOK BOX - EXACT LOCATION TO BE COORDINATED WITH LOCAL FIRE DEPARTMENT; MOUNTING HEIGHT 8'-6" A.F.F., 1E TO FIRE ALARM

##### FIRE EXTINGUISHER TAG

TYPE FIRE EXTINGUISHER ON WALL BRACKET  
TYPE FIRE EXTINGUISHER IN SEMI-RECESSED CABINET

##### ACCESSIBILITY CLEARANCES AT MANUAL SWINGING DOORS

ARROW INDICATED DOOR APPROACH  
REQUIRED CLEAR SPACE PER ADA/IBC ACCESSIBILITY  
REFERENCE TO ADA/IBC ACCESSIBILITY 404.2.4.1  
REFERENCE 404.2.4.3



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Files Prepared By:  
CPI Consulting, LLC.  
Project Architect:  
Architect No. 14444444  
Engineer No. 4000  
Landscaper No. 444444  
Surveyor No. 4000

- NOT FOR CONSTRUCTION -

NO.	DATE	REVISION

#### PROJECT STATUS

Designed:	Designer
Drawn:	Author
Checked:	Checker
Project No.:	2401024
Issue Date:	04/28/2025
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GROUND LIFE SAFETY PLAN  
KEY COLONY BEACH CITY HALL  
600 W. OCEAN DRIVE, NET COLONY BEACH, FLORIDA 32061

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS, SEE GENERAL NOTES FOR MASTER LISTING

Sheet No.  
**G101**













1. THIS SITE PLAN INFORMATION CONTAINED ON THIS SHEET IS PROVIDED FOR YOUR INFORMATION ONLY. REFER TO ALL DRAWINGS FOR DETAILED SITE INFORMATION. ALL DRAWINGS ARE CONTAINED IN A SEPARATE PRINTER PACKAGE.
2. THIS INFORMATION SHOWN HEREIN IS TAKEN FROM INFORMATION PROVIDED BY OTHERS NOT UNDER CONTRACT/CONSULTATION OF THE ARCHITECT. THE ARCHITECT HAS VERIFIED THE ACCURACY AND/OR COMPLETENESS OF THE INFORMATION BASED UPON VISUAL OBSERVATION ONLY. THEREFORE, THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR ERRORS, OMISSIONS, INCOMPLETE REFERENCES, OR INACCURACIES ARISING FROM THE DISCOVERY OF CONCEALED UNKNOWN OR DIFFERING CONDITIONS AS A RESULT OF THE CIRCUMSTANCES. THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR THE SITE AND FELLOWSHIP VARYING CONDITIONS AND DIMENSIONS PRIOR TO PERFORMING ANY WORK.
3. REFER TO ALL DRAWINGS FOR GRADING, BUILDING FOOTPRINT, AND LOCATION OF ALL UTILITIES.
4. THIS IS NOT A SURVEY. REFER TO THE PLATTED SURVEY FOR ACCURACY.
5. ANY SHOWAGE SHOWN IS FOR REFERENCE ONLY. ALL INVOICE MUST BE PERMITTED SEPARATELY.
6. REFERENCE SHEET 2 SERIES DRAWINGS FOR GENERAL NOTES AND CONDITIONS APPLYING THIS WORK.

SITE PLAN KEYNOTE LEGEND		SP#
#	DESCRIPTION	
SP4	OUTDOOR PATIO SPACE	
SP5	ASSIGNED POLICE PARKING	
SP8	NEW WAREHOUSE HALL ENTRANCE AND RAMP	
SP9	NEW SIDEWALK FROM EXPANSION	
SP10	EXISTING PORTION OF BUILDING TO BE REIMCOLORED AND HARDENED	
SP11	NEW PORTION OF BUILDING EXPANSION	
SP12	EXISTING PARKING	



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Plans Prepared By :  
CPH Consulting, LLC.  
Project Jurisdiction  
Architect No. A4444444  
Engineer No. 4444  
Landscape No. 444444  
Surveyor No. 4444

[illegible]

## PROJECT STATUS

Designed:	Designer
Drawn:	Author
Checked:	Checker
Project No.:	2401034
Issue Date:	04/28/2025
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ARCHITECTURAL SITE PLAN

KEY COLONY BEACH CITY HALL

3500 W. OCEAN DRIVE, KEY COLONY BEACH, FLORIDA 33051

THIS SHEET NOT VALID FOR  
CONSTRUCTION WITHOUT COMPLETE

Sheet No.

# AS100



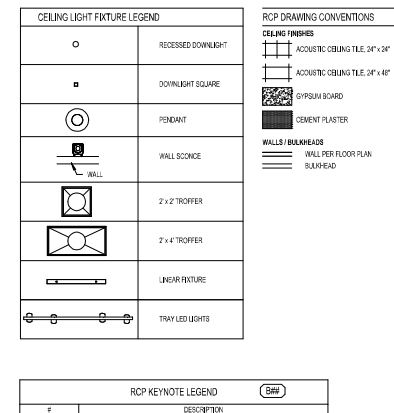
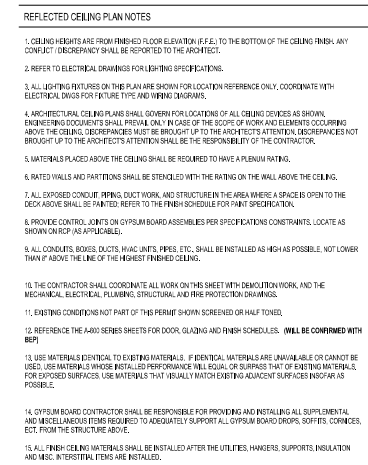
NOTE: THE SCALE OF THESE PLANS MAY HAVE CHANGED DUE TO REPRODUCTION





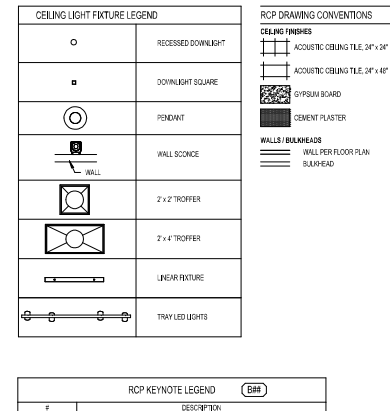


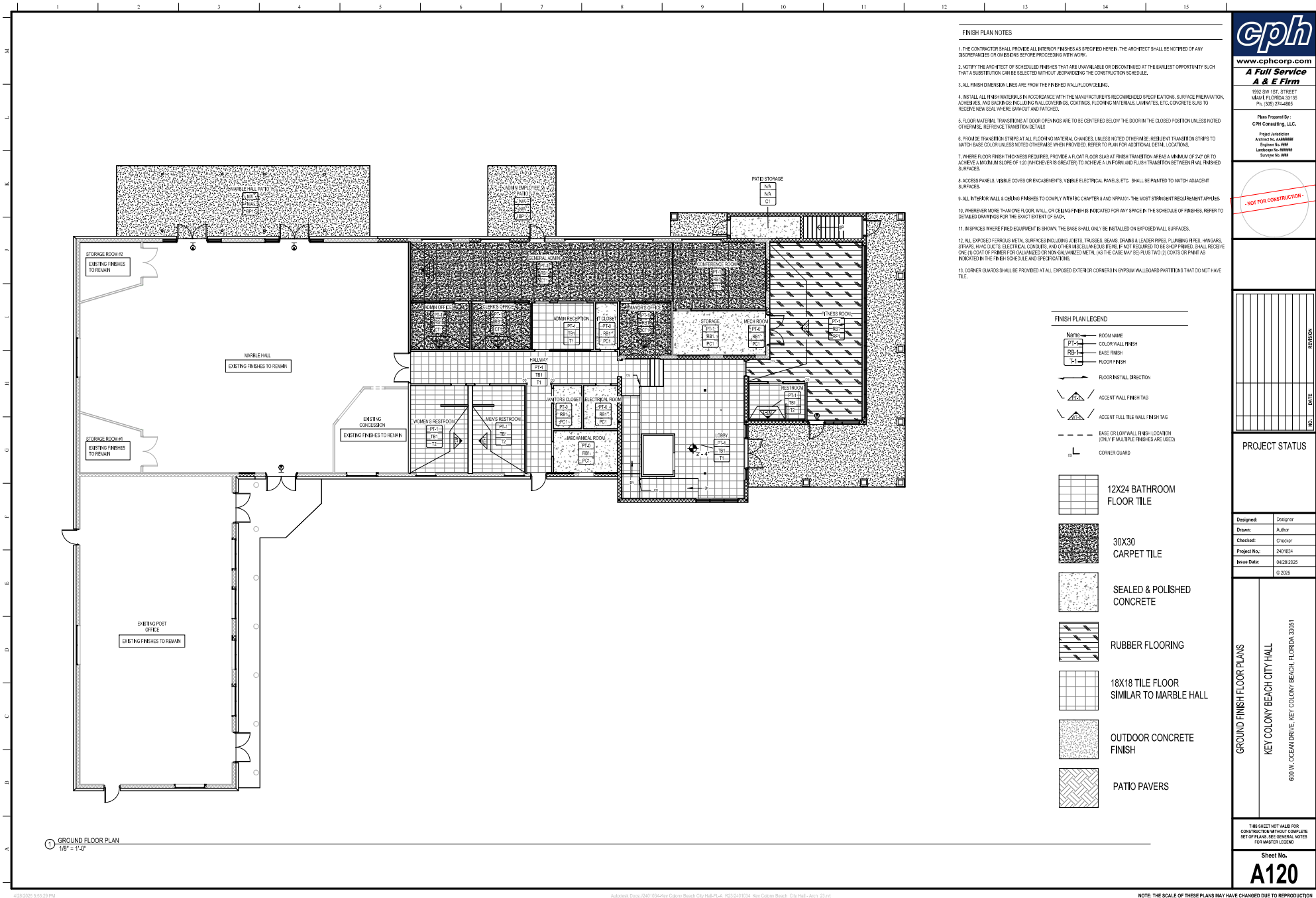


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# REFLECTED CEILING PLAN NOTES

1. CEILING BEAMS ARE PROVIDED PER RELOCATION (F.E.) TO THE BOTTOM OF THE CEILING PANEL. ANY CUT/INTERCUT SHALL BE REPORTED TO THE ARCHITECT.
2. REFER TO ELECTRICAL SYMBOLS FOR LIGHTING SPECIFICATIONS.
3. ALL LIGHTING FIXTURES AND PLANS ARE SHOWN FOR LOCATION REFERENCE ONLY. COORDINATE WITH ELECTRICAL CONSULTANT FOR LIGHTING SPECIFICATIONS.
4. ARCHITECTURAL PLUMBING SHALL PROVIDE ONE LOCATION OF ALL CEILING DEVICES AS SHOWN. ENGINEERING DOCUMENTS SHALL PREVIEW ON CASE OF THE SCOPE OF WORK AND ELEMENTS OCCURRING ABOVE THE CEILING SHALL BE BROUGHT UP TO THE ARCHITECTS ATTENTION. ENGINEERS NOT BROUGHT UP TO THE ARCHITECTS ATTENTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. MATERIALS PLAZED ABOVE THE CEILING SHALL REQUIRE TO HAVE A PLUMBING PLAN.
6. ALL PIPES AND PARTITIONS SHALL BE STENOCHED WITH THE RATING ON THE WALL ABOVE THE CEILING.
7. EXPANDED CORK, PLUMB, DUCT WORK, AND STRUCTURE IN THE AREA HAVE A SPACE ON TOP TO THE DECK ABOVE SHALL BE PARTED. REFER TO ASSEMBLY SPECIFICATIONS FOR PART SPECIFICATION.
8. PROMOTE CONTROL, CONTROL ON CYPRESS BOARD. ASSEMBLY PER SPECIFICATIONS CONSTRAINTS, LOCATE AS SHOWN ON THE PLAN.
9. ALL CONDUITS, BONES, DUCTS, HANGERS, TRIPS, ETC., SHALL BE INSTALLED AS HIGH AS POSSIBLE, NOT LOWER THAN THE TOP OF THE MESHING TRIPPER.
10. THE CONTRACTOR SHALL COORDINATE ALL WORK ON THE SHEET WITH DEMOLITION WORK, AND THE MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURE, AND PRE-POSITIONING.
11. EXISTING CEILING SHALL BE CUT FROM THE FIRM SHOWN SCREENED OR NOT NOTED.
12. REFERENCE THE 4400 SERIES SHEETS FOR DOOR, GLAZING AND FIRM SCHEDULES. SHALL BE COMBINED WITH BFF1
13. USE MATERIALS IDENTICAL TO EXISTING MATERIALS. IF IDENTICAL MATERIALS ARE UNAVAILABLE OR CANNOT BE USED, USE MATERIALS WHICH MEET OR EXCEED PERFORMANCE, ALL QUALITY OR SURPASS THAT OF EXISTING MATERIALS. FOR DISAPPROPRIATE, MATERIALS THAT WILL BEACH WITH MATERIALS PERFORMANCE AND/OR AS POSSIBLE.
14. ALL FLOORING CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL SUPPLEMENTAL AND MISCELLANEOUS ITEMS REQUIRED TO ACQUAINTLY. SUPPORT ALL CYPRESS BOARD, DOFFS, CONNECT, ETC. FROM THE STRUCTURE ABOVE.
15. ALL FLOORING CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL SUPPLEMENTAL AND MISCELLANEOUS ITEMS REQUIRED TO ACQUAINTLY. SUPPORT ALL CYPRESS BOARD, DOFFS, CONNECT, ETC. FROM THE STRUCTURE ABOVE.

[illegible]



FINISH PLAN NOTES

1. THE CONTRACTOR SHALL PROVIDE ALL INTERIOR FINISHES AS SPECIFIED HEREIN. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS BEFORE PROCEEDING WITH WORK.
2. NOTIFY THE ARCHITECT OF SCHEDULED FINISHES THAT ARE UNAVAILABLE OR DISCONTINUED AT THE EARLIEST OPPORTUNITY SUCH THAT A SUBSTITUTION CAN BE SELECTED WITHOUT JEOPARDIZING THE CONSTRUCTION SCHEDULE.
3. ALL FINISH DIMENSION LINES ARE FROM THE FINISHED WALL/FLOOR/CEILING.
4. INSTALL ALL FINISH MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS, SURFACE PREPARATION, ADHESIVES, AND BACKINGS, INCLUDING WALL COVERINGS, COATINGS, FLOORING MATERIALS, LAMINATES, ETC. CONCRETE SLAB TO RECEIVE NON-SLIP WHERE APPLICABLE AND PATCHES.
5. FLOOR MATERIAL TRANSITIONS AT DOOR OPENINGS ARE TO BE CENTERED BELOW THE DOOR IN THE CLOSED POSITION UNLESS NOTED OTHERWISE. REFERENCE TRANSITION DETAILS.
6. PROVIDE TRANSITION STRIPS AT ALL FLOORING MATERIAL CHANGES, UNLESS NOTED OTHERWISE. RESIDENT TRANSITION STRIPS TO MATCH BASE COLOR UNLESS NOTED OTHERWISE WHEN PROVIDED. REFER TO PLAN FOR ADDITIONAL DETAIL LOCATIONS.
7. WHERE FLOOR FINISH THICKNESS REQUIRED, PROVIDE A FLOAT FLOOR SLAB AT FRESH TRANSITION AREAS A MINIMUM OF 7'-0" OR TO ACHIEVE A MINIMUM SLOPE OF 1:20 (WHICHEVER IS GREATER) TO ACHIEVE A UNIFORM AND FLUSH TRANSITION BETWEEN FINISH THICKNESS SURFACES.
8. ACCESS PANELS, VISIBLE COVERS OR ENCASEMENT'S VISIBLE ELECTRICAL PANELS, ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES.
9. ALL INTERIOR WALL & CEILING FINISHES TO COMPLY WITH IBC CHAPTER 9 AND NFPA 101. THE MOST STRINGENT REQUIREMENT APPLIES.
10. WHEREVER MORE THAN ONE FLOOR, WALL, OR CEILING FINISH IS INDICATED FOR ANY SPACE IN THE SCHEDULE OF FINISHES, REFER TO DETAILED DRAWINGS FOR THE EXACT EXTENT OF EACH.
11. IN SPACES WHERE FIXED EQUIPMENT IS SHOWN, THE BASE SHALL ONLY BE INSTALLED ON EXPOSED WALL SURFACES.
12. ALL EXPOSED FERROUS METAL SURFACES INCLUDING JOISTS, TRUSSES, BEAMS, DRAINS & LEADER PIPES, PLUMBING PIPES, HANGARS, STUMPS, HANG CASTS, ELECTRICAL CONDUITS, AND OTHER MISCELLANEOUS ITEMS, IF NOT REQUIRED TO BE SHOP PRIMED, SHALL RECEIVE ONE (1) COAT OF PRIMER FOR GALVANIZED OR NON-GALVANIZED METAL (AS THE CASE MAY BE) PLUS TWO (2) COATS OF PAINT AS INDICATED IN THE FINISH SCHEDULE AND SPECIFICATIONS.
13. CORNER GUARDS SHALL BE PROVIDED AT ALL EXPOSED EXTERIOR CORNERS IN GYPSUM WALLBOARD PARTITIONS THAT DO NOT HAVE TILE.

FINISH PLAN LEGEND

- |                         |   |
|-------------------------|---|
| Room Name               | ROOM NAME   |
| PT-1                    | COLOR WALL FINISH   |
| RB-1                    | BASE FINISH   |
| T-1                     | FLOOR FINISH  |
| FLOOR INSTALL DIRECTION |   |
| PT-1                    | ACCENT WALL FINISH TAG  |
| PT-1                    | ACCENT FULL TILE WALL FINISH TAG                                      |
| PT-1                    | BASE OR LOW WALL FINISH LOCATION (ONLY IF MULTIPLE FINISHES ARE USED) |
| CG                      | CORNER GUARD  |
- 
- |  |   |
|--|---|
|  | 12X24 BATHROOM FLOOR TILE               |
|  | 30X30 CARPET TILE                       |
|  | SEALED & POLISHED CONCRETE              |
|  | RUBBER FLOORING                         |
|  | 18X18 TILE FLOOR SIMILAR TO MARBLE HALL |
|  | OUTDOOR CONCRETE FINISH                 |
|  | PATIO PAVERS                            |

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Files Prepared By:  
CPI Consulting, LLC.  
Project Jurisdiction:  
Architect: Joe Jaramila  
Engineer: No. 408  
Landscaper: No. 408  
Surveyor: No. 408

NO.	DATE	REVISION

**PROJECT STATUS**

Designed:	Designer
Drawn:	Author
Checked:	Checker
Project No.:	2401024
Issue Date:	06/28/2025
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**GROUND FINISH FLOOR PLANS**  
**KEY COLONY BEACH CITY HALL**  
600 W. OCEAN DRIVE, KEY COLONY BEACH, FLORIDA 33051

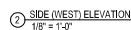
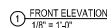
THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS, SEE GENERAL NOTES FOR WARNING LEGEND

Sheet No.  
**A120**



ELEVATION KEYNOTE LEGEND	
#	DESCRIPTION
E00	STUCCO
E01	POST OFFICE ENTRANCE 1
E02	POST OFFICE ENTRANCE 2
E03	MARBLE HALL ENTRANCE
E04	SECONDARY ENTRANCE
E05	MAIN ENTRANCE
E06	FINISH ROOM ENTRANCE
E07	POLICE STAIR
E08	MECHANICAL ROOM
E09	DOWN HALL OFFICE ACCESS DOOR
E10	MARBLE HALL PA TO DOOR 1
E11	MARBLE HALL PA TO DOOR 2
E12	POST OFFICE STAIR DOOR 1
E13	POST OFFICE STAIR DOOR 2
E14	CORRIDE
E15	PIPE-LOUVER
E16	STORE FRONT
E17	CORNISE - HIGH
E18	CORNISE - LOW
E19	CITY SEAL
E20	MOSAIC
E21	SHIPSL STUCCO
E22	STANDING SEAM MET. ROOF
E23	STUCCO
E24	BEAM
E25	COLUMN & BASE
E26	PARALLA

1. ELEVATION HEIGHTS ARE FOR REFERENCE ONLY. SEE CDS, DRAWINGS FOR ACTUAL FLOOR HEIGHT AND SEA LEVEL. CONTACT THE ARCHITECT FOR RECORD OF RECORD FLOOR HEIGHTS.
2. ALL VERTICAL DIMENSIONS ARE FROM THE FINISHED FLOOR, UNLESS NOTED OTHERWISE.
3. STORAGE IS ALLOWED IN THE PINKED STORAGE. SHOW FOR REFERENCE ONLY. ALL ITEMS MUST BE PERMITTED SEPARATELY.
4. DO NOT TRANSFER PAINT COLORS ON EXTERIOR COATERS. ALL COLOR CHANGES SHOULD BE AT INTERIOR COATERS. USE COLOR CHARTS TO IDENTIFY COATERS. CONTACT THE ARCHITECT BY ACCOUNT BY OWNER.
5. PAINT ALL EXPOSED EDGES OF TRIM, INCLUDING THE TOP AND BOTTOM EDGES.
6. METAL PAINT TO BE ENAMEL BASE.
7. LOUVERS AND PANEL PRICES SHALL BE APPROPRIATE TO MATCH ADJACENT SURFACES INCLUDING FACTORY-PAINTED FIRM. UNLESS NOTED OTHERWISE, BRIGHT PAINTING OF THESE ITEMS WILL NOT BE PERMITTED.
8. THE GENERAL CONTRACTOR SHALL PAINT ALL EXPOSED PIPES, CONDENSATES, DISCONNECTS AT JUNCTION BOXES TO MATCH THE ADJACENT SURFACE.
9. PROVIDE AND COORDINATE INDIVIDUAL LOCATIONS WITH FIRE DEPARTMENT AND USE LUMP SUM PRICE FOR INSTALLATION.
10. THE GENERAL CONTRACTOR SHALL COORDINATE ALL WORK ON THIS SHEET WITH DEMOLITION, PLUMBING, AND MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL, AND FIRE PROTECTION GROUPS.
11. ALL PREPARED/PAINTING/INSTALLATIONS, INCLUDING A COMPONENTS SHALL BE FASTENED TO ADHESIVE TO THE SUBSTRATE. MATERIALS SPECIFICATIONS TO WITHSTAND HIGH TEMPERATURE AND PRESSURE RESISTANCE ON STRUCTURAL DRAWINGS.
12. COORDINATE WITH ARCHITECT THE LOCATION OF ALL ADDITIONAL CONTROL UNITS REQUIRED BUT NOT INDICATED ON PLANS.
13. ALL EXTERIOR SURFACES TO BE PAINTED IN THE FIELD OF WORK BE PROVIDED WITH FACTORY OR SHOP APPLIED FINISHES. ALL COLORS SHALL BE SELECTED BY ARCHITECT, APPROVED BY OWNER.



_____	EXISTING TO REMAIN
_____	
_____	NEW WORK

Sheet No.  
**A200**



ELEVATION KEYNOTE LEGEND			EBB
#		DESCRIPTION	
E00	STUCCO		
E01	POST OFFICE ENTRANCE 1		
E02	POST OFFICE ENTRANCE 2		
E03	MARBLE HALL ENTRANCE		
E04	SECONDARY ENTRANCE		
E05	MAIN ENTRANCE		
E06	STREET SIDE ENTRANCE		
E07	PAVILION STAIRS		
E08	MECHANICAL ROOM		
E09	SHOW BAPTIST ACCESS DOOR		
E10	MARBLE HALL PIR TO DOOR 1		
E11	MARBLE HALL PIR TO DOOR 2		
E12	POST OFFICE SERVICE DOOR 1		
E13	POST OFFICE SERVICE DOOR 2		
E14	CORRAL		
E15	FEED LOUVER		
E16	STONE FRONT		
E17	CORRAL, INTER		
E18	CORRAL, -LOW		
E19	CITY RAIL		
E20	BRIDGE		
E21	SHIPYARD STUCCO		
E22	STANDING BARN MTL. ROOF		
E23	STUCCO		
E24	SEAM		
E25	CORRAL & BASE		
E26	STUCCO		

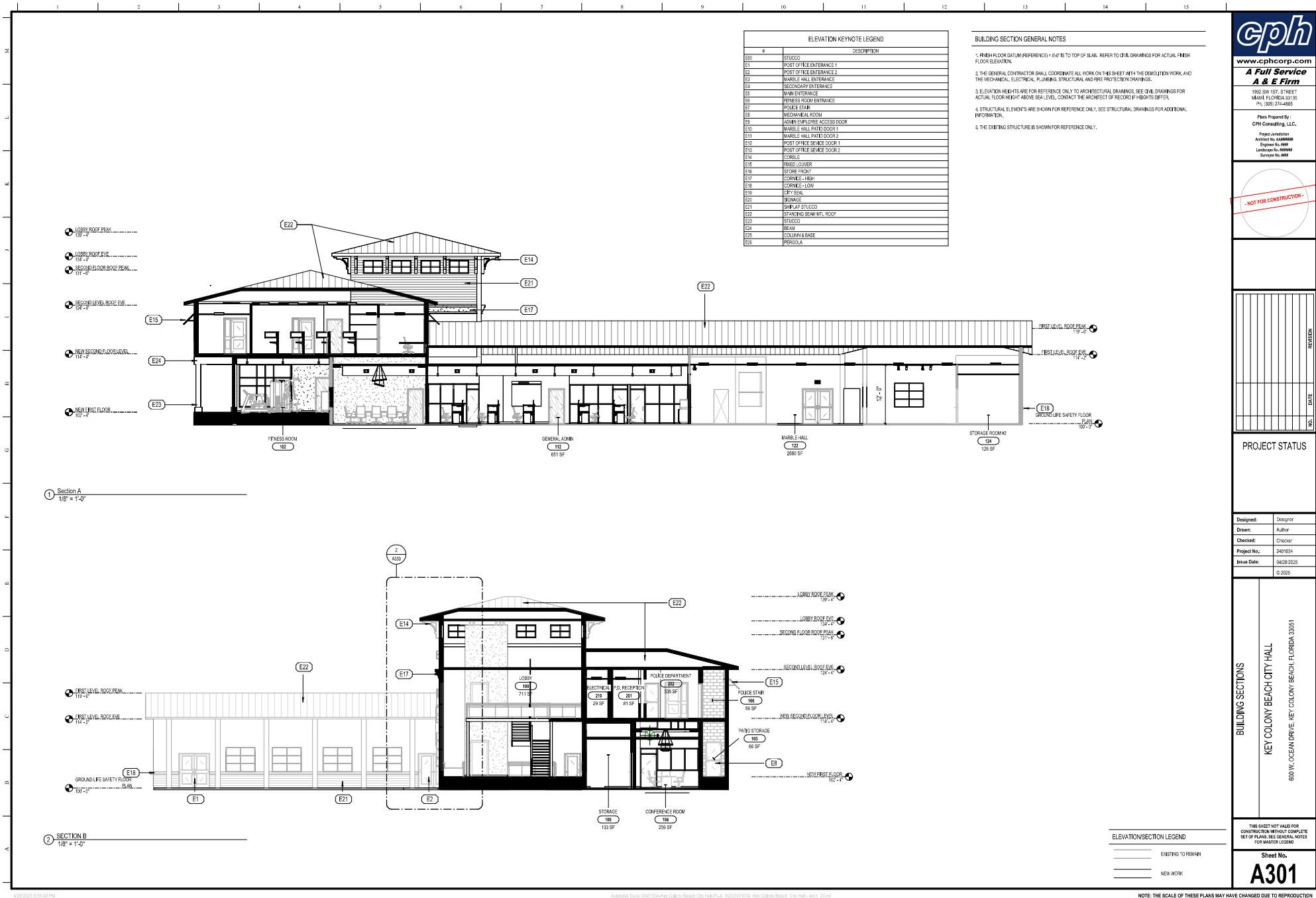
- 
- REAR ELEVATION  
1/8" = 1'-0"

- 
- Architectural drawing of the side (east) elevation of the building. The drawing shows a two-story structure with a gabled roof and a long, low section. Key features include a "WELCOME TO KEY COLONY BEACH" sign, multiple windows, and a covered entrance area. Callouts E01 through E22 identify specific architectural elements. A legend on the left defines the callouts: E01 BOTTOM OF FASIAS 116'-0", E02 SECOND FLOOR ROOFLINE 116'-0", E03 SECOND FLOOR ROOFLINE 116'-0", E04 SECOND FLOOR ROOFLINE 116'-0", E05 SECOND FLOOR ROOFLINE 116'-0", E06 SECOND FLOOR ROOFLINE 116'-0", E07 SECOND FLOOR ROOFLINE 116'-0", E08 SECOND FLOOR ROOFLINE 116'-0", E09 SECOND FLOOR ROOFLINE 116'-0", E10 SECOND FLOOR ROOFLINE 116'-0", E11 SECOND FLOOR ROOFLINE 116'-0", E12 SECOND FLOOR ROOFLINE 116'-0", E13 SECOND FLOOR ROOFLINE 116'-0", E14 SECOND FLOOR ROOFLINE 116'-0", E15 SECOND FLOOR ROOFLINE 116'-0", E16 SECOND FLOOR ROOFLINE 116'-0", E17 SECOND FLOOR ROOFLINE 116'-0", E18 SECOND FLOOR ROOFLINE 116'-0", E19 SECOND FLOOR ROOFLINE 116'-0", E20 SECOND FLOOR ROOFLINE 116'-0", E21 SECOND FLOOR ROOFLINE 116'-0", E22 SECOND FLOOR ROOFLINE 116'-0". A scale bar at the bottom indicates 1/8" = 1'-0".

**ELEVATION/SECTION LEGEND**

_____	EXISTING TO REMAIN
_____	NEW WORK

Sheet No. **A201**



ELEVATION KEYNOTE LEGEND	
#	DESCRIPTION
E00	STUCCO
E01	POST OFFICE ENTRANCE 1
E02	POST OFFICE ENTRANCE 2
E03	MARBLE HALL ENTRANCE
E04	SECONDARY ENTRANCE
E05	MAIN ENTRANCE
E06	FITNESS ROOM ENTRANCE
E07	POLICE CLUB
E08	MECHANICAL ROOM
E09	ADMIN EMPLOYEE ACCESS DOOR
E10	MARBLE HALL PATIO DOOR 1
E11	MARBLE HALL PATIO DOOR 2
E12	POST OFFICE SERVICE DOOR 1
E13	POST OFFICE SERVICE DOOR 2
E14	CONCRETE
E15	FINISH COVER
E16	STONE FRONT
E17	CORNICE-HIGH
E18	CORNICE-LOW
E19	CITY FENCE
E20	SCREENAGE
E21	SHIMLAP STUCCO
E22	STANDING SEAM MET. ROOF
E23	STUCCO
E24	BRAM
E25	COLUMN & BASE
E26	PERGOLA

BUILDING SECTION GENERAL NOTES

1. FINISH FLOOR DATUM (REFERENCE) = EAT TO TOP OF SLAB. REFER TO CIVIL DRAWINGS FOR ACTUAL FINISH FLOOR ELEVATION.

2. THE GENERAL CONTRACTOR SHALL COORDINATE ALL WORK ON THIS SHEET WITH THE DEMOLITION WORK, AND THE MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL AND FIRE PROTECTION DRAWINGS.

3. ELEVATION HEIGHTS ARE FOR REFERENCE ONLY TO ARCHITECTURAL DRAWINGS. SEE CIVIL DRAWINGS FOR ACTUAL FLOOR HEIGHT ABOVE SEA LEVEL. CONTACT THE ARCHITECT OF RECORD IF HEIGHTS DIFFER.

4. STRUCTURAL ELEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

5. THE EXISTING STRUCTURE IS SHOWN FOR REFERENCE ONLY.

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**A Full Service A & E Firm**

1902 SW 1ST STREET  
MIAMI, FLORIDA 33135  
PH: (305) 274-4885

Prepared By:  
CPI Consulting, LLC.

Project Architect:  
Architect: Joe J. Jaramila  
Engineer: R. A. Hill  
Landscape Architect: J. Jaramila  
Surveyor: R. Hill

REVISION

NO.	DATE

PROJECT STATUS

Designed:	Designer
Drawn:	Author
Checked:	Checker
Project No.:	2401024
Issue Date:	04/28/2025
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BUILDING SECTIONS

KEY COLONY BEACH CITY HALL

600 W. OCEAN DRIVE, KEY COLONY BEACH, FLORIDA 33561

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS. SEE GENERAL NOTES FOR MASTER LISTING.

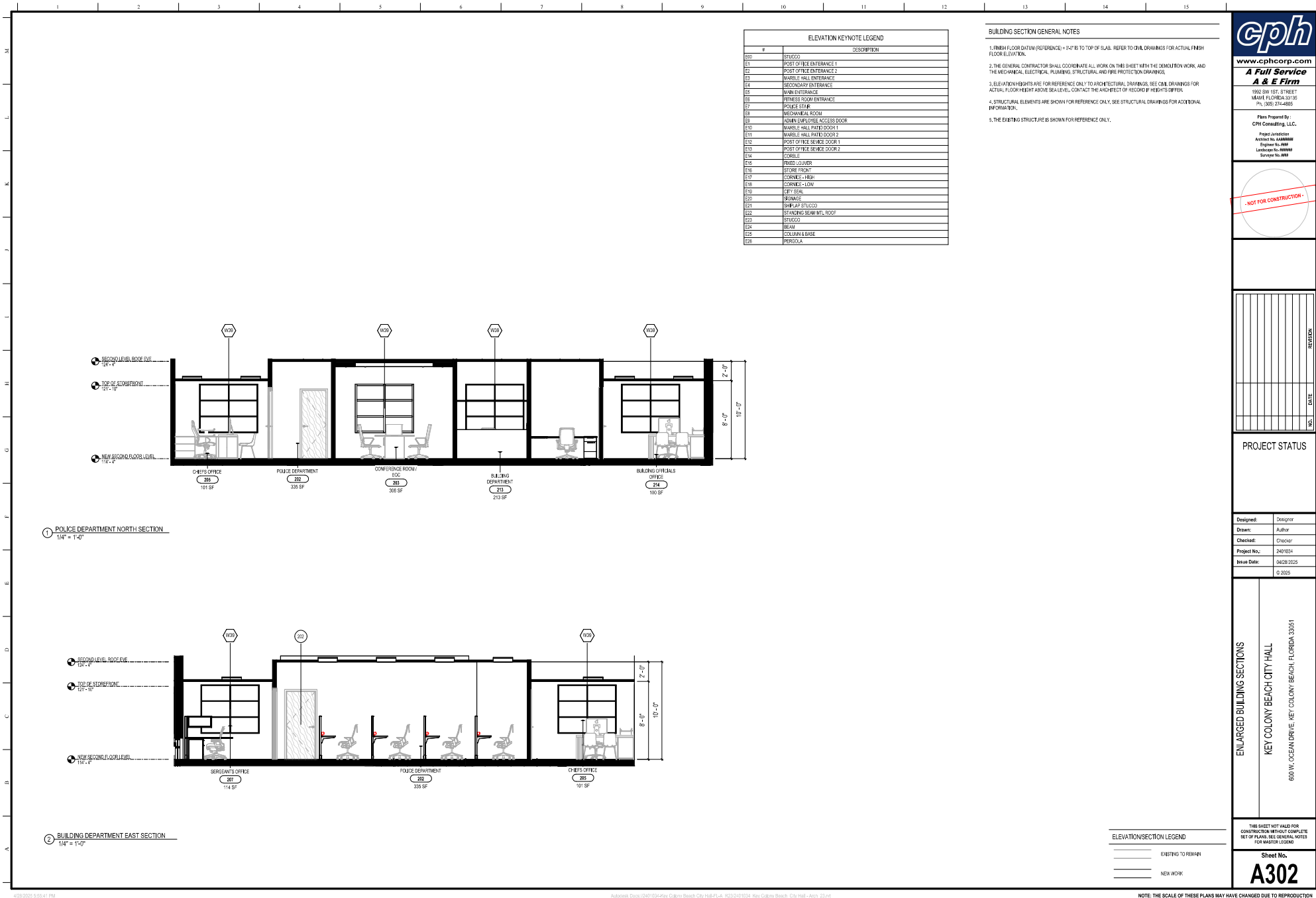
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**A301**

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A & E Firm**  
1902 SW 1ST STREET  
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Plans Prepared By:  
CPI Consulting, LLC.  
Project Architect  
Architect No. 14488  
Engineer No. 488  
Landscaper No. 488  
Survey No. 488

NO.

DATE

REASON

PROJECT STATUS

Designed: Designer

Drawn: Author

Checked: Checker

Project No.: 2407024

Issue Date: 04/28/2025

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ENLARGED BUILDING SECTIONS

KEY COLONY BEACH CITY HALL

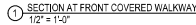
600 W. OCEAN DRIVE, KEY COLONY BEACH, FLORIDA 33561

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FOR MASTER LEGEND

Sheet No.  
**A302**

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1. ELEVATION HEIGHTS ARE FOR REFERENCE ONLY TO ARCHITECTURAL DRAWINGS. SEE CIVIL DRAWINGS FOR ACTUAL FLOOR HEIGHTS ABOVE SEA LEVEL. CONTACT THE ARCHITECT OF RECORD IF HEIGHTS DIFFER.
2. STRUCTURAL ELEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
3. SLOPE SIDEWALK AND EXTERIOR GRADE MIN. 2% AWAY FROM BUILDING.
4. THE EXISTING STRUCTURE IS SHOWN FOR REFERENCE ONLY.

1992 SW 1ST. STREET  
MIAMI, FLORIDA 33135  
Ph. (305) 274-4805

Plans Prepared By :  
CPH Consulting, LLC

Project Jurisdiction  
Architect No. AAAAAA  
Engineer No. 0000  
Landscape No. 000000  
Surveyor No. 0000

**NOT FOR CONSTRUCTION.**

[illegible]

Designed:	Designer
Drawn:	Author
Checked:	Checker
Project No.:	2401034
Issue Date:	04/28/2025
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WALL SECTIONS

KEY COLONY BEACH CITY HALL

3500 W. OCEAN DRIVE, KEY COLONY BEACH, FLORIDA 32951

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SET OF PLANS. SEE GENERAL NOTES

Sheet No. \_\_\_\_\_

## A330











1. REFERENCE SHEET A122 FOR FINISH SCHEDULES AND DETAILS.

2. ALL VERTICAL DIMENSIONS ARE FROM THE FINISHED FLOOR, U.N.O.

INTERIOR ELEVATION KEYNOTE LEGEND	
#	DESCRIPTION

1992 SW 1ST. STREET  
MIAMI, FLORIDA 33136  
Ph (305) 274-6805

[illegible]

## PROJECT STATUS

Designed:	Designer
Drawn:	Author
Checked:	Checker
Project No.:	2401034
Issue Date:	04/28/2025
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## INTERIOR RESTROOM ELEVATIONS

KEY COLONY BEACH CITY HALL

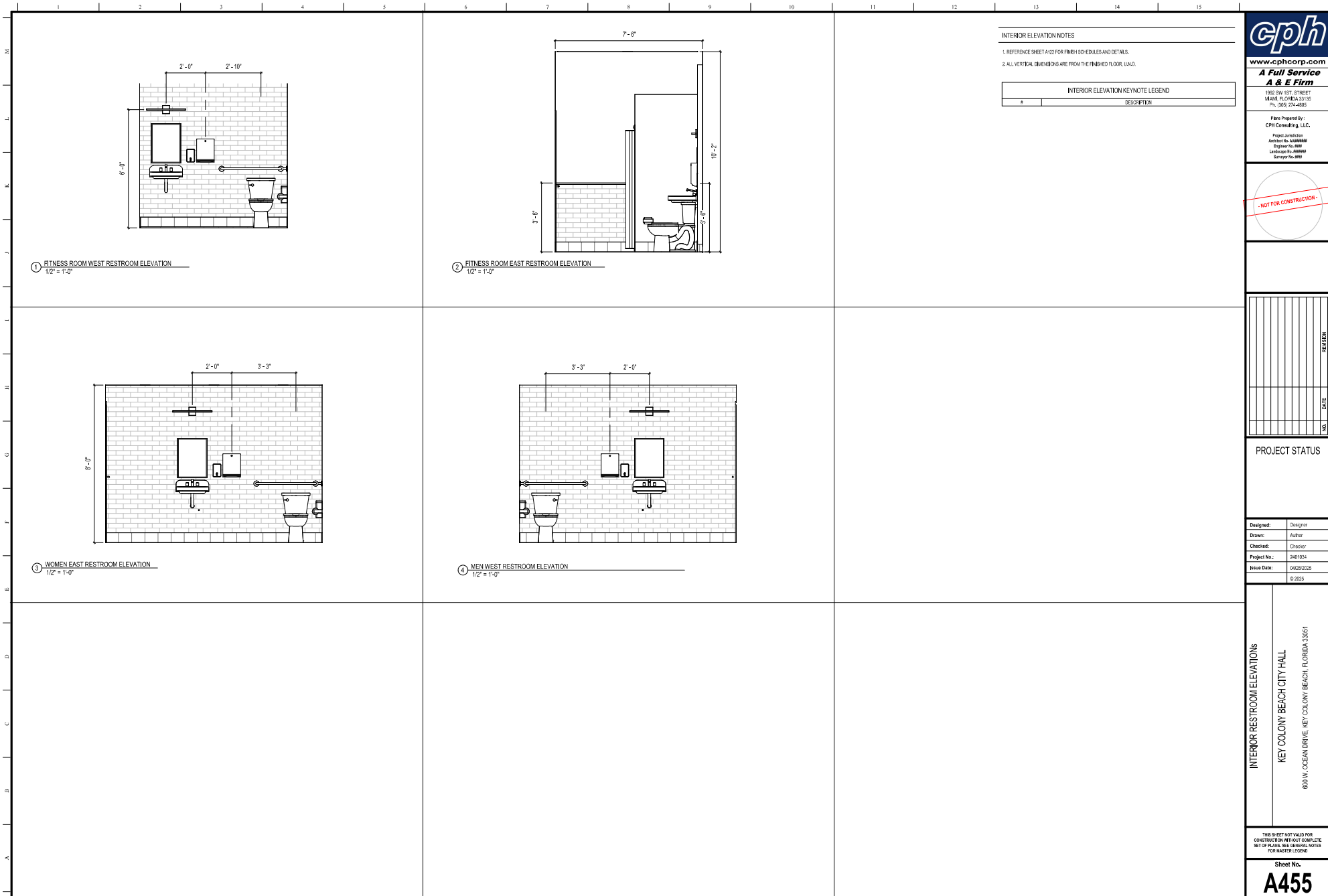
300 W. OCEAN DRIVE, KEY COLONY BEACH, FLORIDA 33051

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Sheet No.

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PH: (305) 274-4855

Plans Prepared By:  
CPI Consulting, LLC.  
Project Jurisdiction  
Architect No. 34488  
Engineer No. 488  
Landscaper No. 488  
Surveyor No. 488

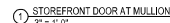
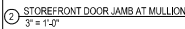
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NO.	DATE	REVISION

**PROJECT STATUS**

Designed:	Designer
Drawn:	Author
Checked:	Checker
Project No.:	2401024
Issue Date:	04/28/2023
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## DOOR PANEL TYPES



DOOR DESIGN LOADS	
1. CODE	FBC 2023 8TH ED.
2. LATERAL LOADS	
WIND LOADS	
1. BASIC WIND SPEED (3-SECOND GUST)	175 MPH
2. IMPORTANCE FACTOR (I)	1.0
3. EXPOSURE CATEGORY	II
4. ENCLOSURE CLASSIFICATION	ENCLOSED
3. DOOR DESIGN WIND PRESSURE	
FRONT ENTRY DOOR	± 37.8 PSF
REAR ENTRY DOOR	± 37.8 PSF